



**ACT**

Government

Environment and  
Sustainable Development

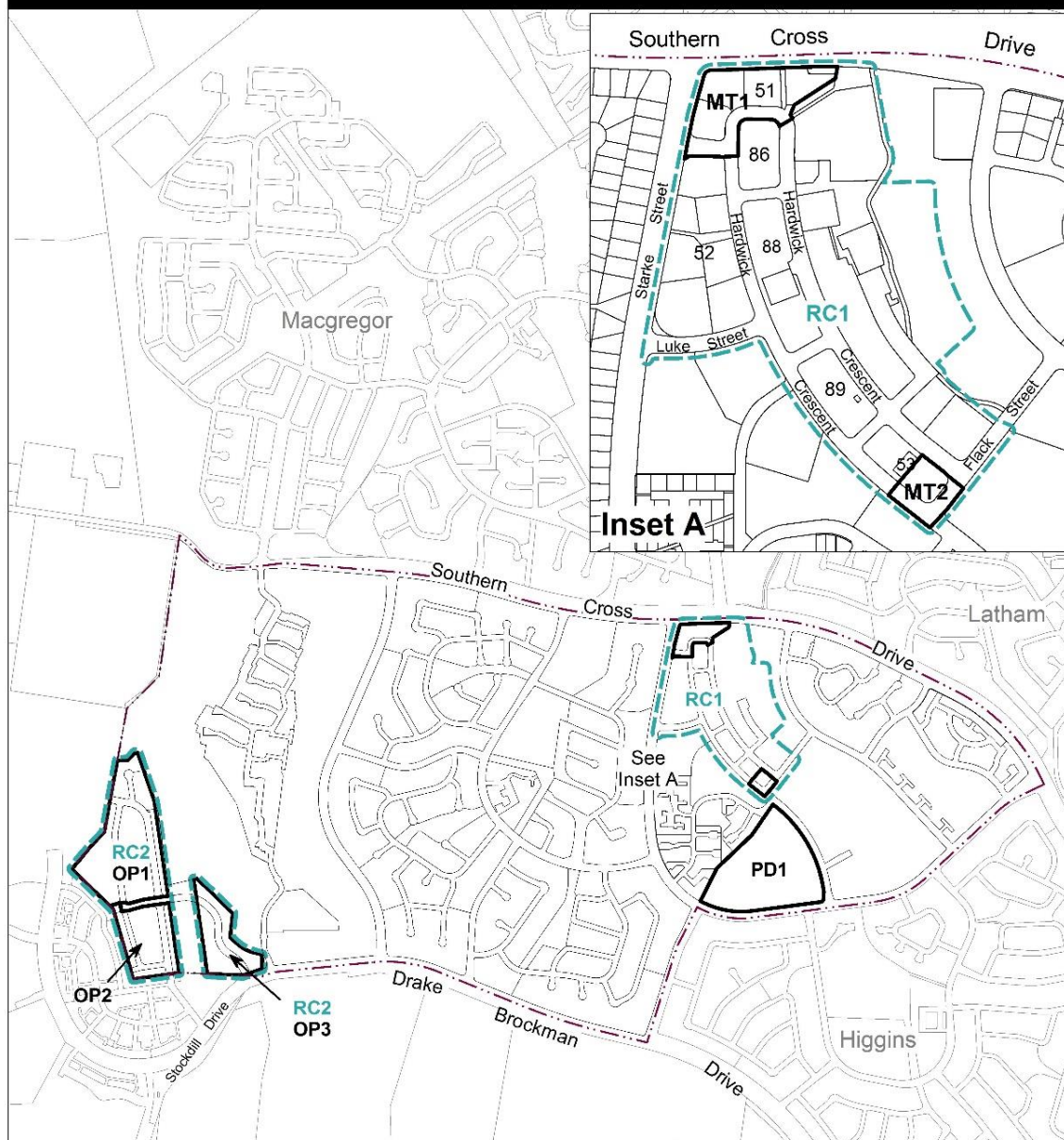
# Holt Precinct Map and Code

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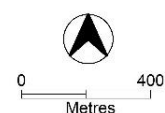
Kippax Group Centre

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# Holt Precinct Map



- PDn** Additional prohibited development applies see Table 1
- MTn** Additional merit track development applies see Table 2
- RCn** Additional rules and criteria apply see Holt Precinct Code
- OPn** Ongoing provisions apply see Holt Precinct Code



# Assessment Tracks

The following tables identify the additional prohibited development and additional merit track development for blocks and parcels shown in the Holt Precinct Map (identified as PDn or MTn). Development that is exempt from requiring development approval, other prohibited development and the minimum assessment track applicable to each development proposal is set out in the relevant zone development table.

The following tables constitute part of the relevant zone development table.

**Table 1 – Additional prohibited development**

Additional prohibited development		
Suburb precinct map label	Zone	Development
PD1	CFZ	<i>retirement village</i> <i>supportive housing</i>

**Table 2 – Additional merit track development**

Additional merit track development that may be approved subject to assessment		
Suburb precinct map label	Zone	Development
MT1	CZ2	<i>funeral parlour</i> <i>light industry</i> <i>service station</i> <i>veterinary hospital</i>
MT2	CZ2	<i>service station</i>

# Holt Precinct Code

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# Introduction

## Name

The name of this code is **Holt Precinct Code**.

## Application

The code applies to the Division of Holt.

## Purpose

This code provides additional planning, design and environmental controls for specific areas or blocks and may also contain references to provisions in other codes.

In conjunction with other relevant codes it will be used by the *Authority* to assess development applications and offer guidance to intending applicants in designing development proposals and preparing development applications.

## Structure

This code contains additional rules and/or criteria for particular blocks or parcels identified as areas RCn on the precinct map, to be read in conjunction with the relevant development code. It may also contain sub-parts.

Each element has one or more rules and, unless the respective rule is mandatory, each rule has an associated criterion. Rules provide quantitative, or definitive, controls. By contrast, criteria are chiefly qualitative in nature.

In some instances rules are mandatory. Such rules are accompanied by the words “This is a mandatory requirement. There is no applicable criterion.” Non-compliance with a mandatory rule will result in the refusal of the development application. Conversely, the words “There is no applicable rule” is found where a criterion only is applicable.

## Code hierarchy

Under the *Planning and Development Act 2007*, where more than one type of code applies to a development, the order of precedence if there is inconsistency of provisions between codes is: precinct code, development code and general code.

If more than one precinct code applies to the site, the most recent precinct code takes precedence to the extent of any inconsistency.

## Definitions

Defined terms, references to legislation and other documents are italicised.

Definitions of terms used in this code are listed in part 13 of the Territory Plan or, for terms applicable only to this code, associated with the respective rule.

**Acronyms**

ACTPLA	Planning and Land Authority within the ACT Environment and Sustainable Development Directorate
EPA	ACT Environment Protection Authority
ESA	ACT Emergency Services Agency
ESDD	ACT Environment and Sustainable Development Directorate
NCA	National Capital Authority
P&D Act	Planning and Development Act 2007
TAMS	ACT Territory and Municipal Services Directorate



## Additional rules and criteria

This part applies to blocks and parcels identified in the Holt Precinct Map (RCn). It should be read in conjunction with the relevant zone development code and related codes.

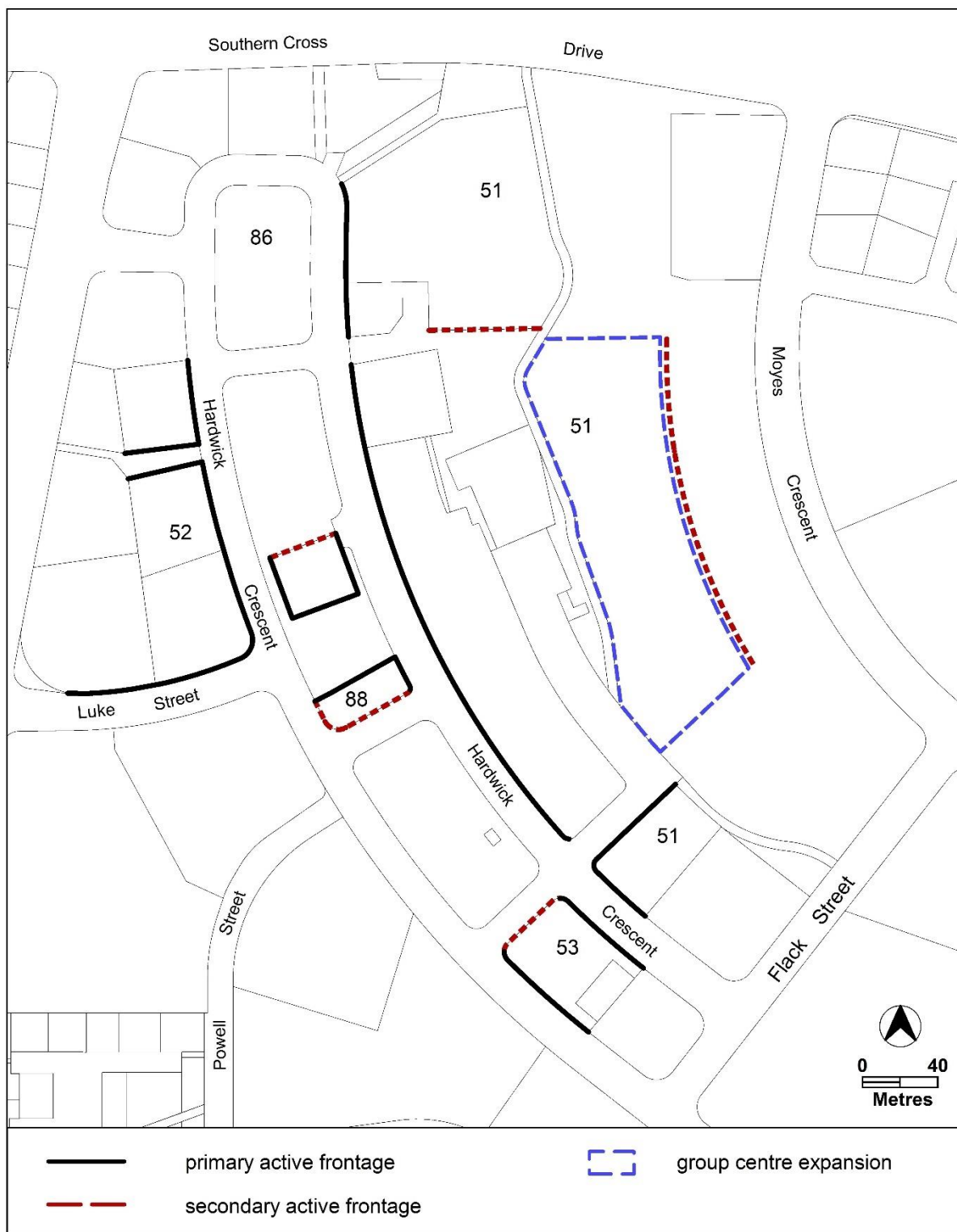
### RC1 – Kippax Group Centre

This part applies to blocks and parcels identified in area RC1 shown on the Holt Precinct Map. RC1 includes the Kippax Group Centre.

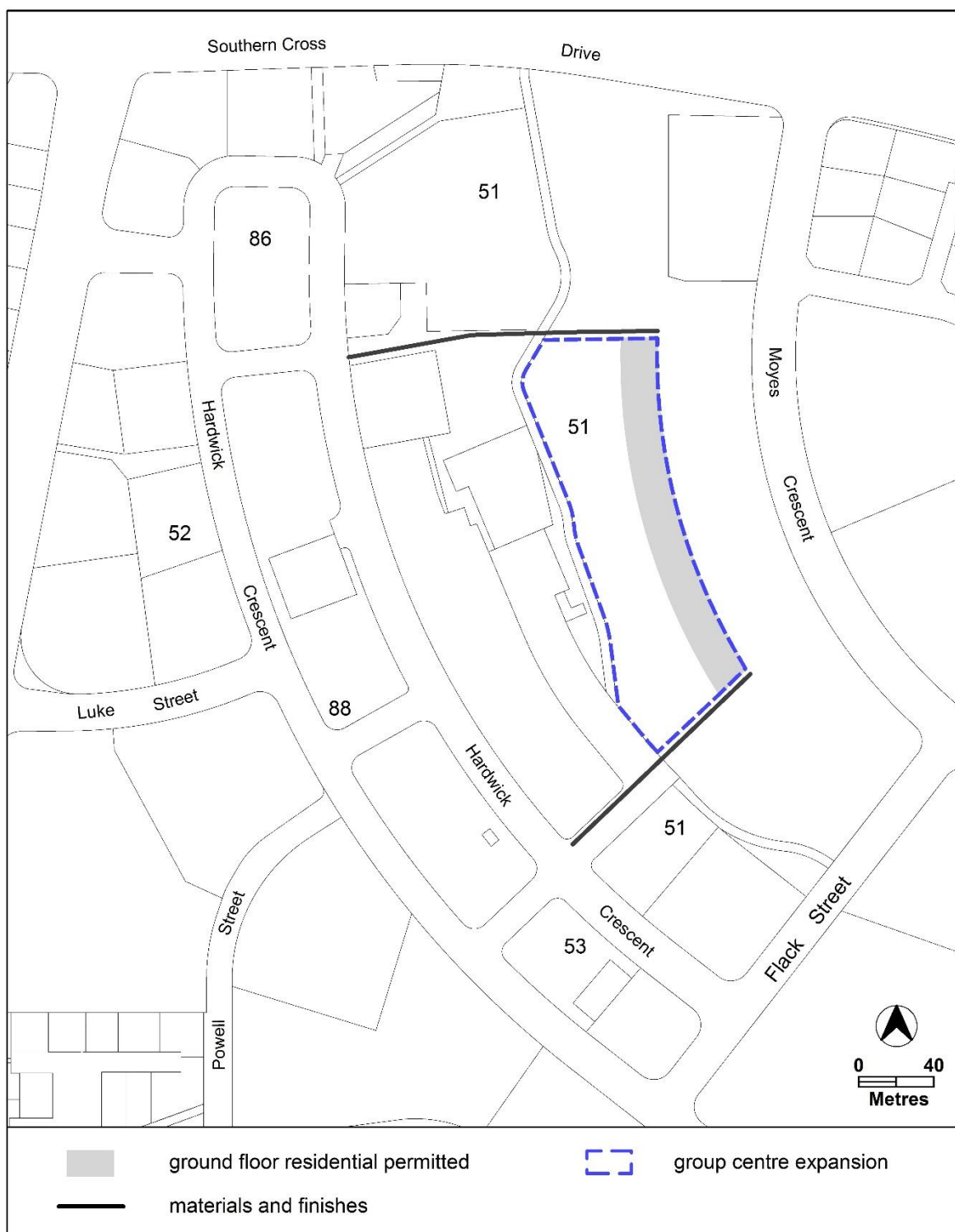
#### Element 1: Use

Rules	Criteria
<b>1.1 Ground floor uses</b>	
<p>R1</p> <p>This rule applies to blocks with frontages to primary active frontages in CZ1 shown in figure 1.</p> <p>Only the following uses are permitted at the ground floor level for the length of the primary active frontage:</p> <ul style="list-style-type: none"><li>a) <i>business agency</i></li><li>b) <i>club</i></li><li>c) <i>community activity centre</i></li><li>d) <i>drink establishment</i></li><li>e) <i>financial establishment</i></li><li>f) <i>hotel</i></li><li>g) <i>indoor entertainment facility</i></li><li>h) <i>indoor recreation facility</i></li><li>i) <i>public agency</i></li><li>j) <i>restaurant</i></li><li>k) <i>SHOP.</i></li></ul>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>There is no applicable rule.</p>	<p>C2</p> <p>This criterion applies to blocks in the CZ2 business and CZ3 services zone with boundaries to primary active frontages shown in Figure 1.</p> <p>Buildings incorporate uses on the ground floor that generate activity in the public space.</p>

<p><b>R3</b></p> <p>This rule applies to the ground floor residential area shown in Figure 2.</p> <p>Residential uses are permitted at the ground floor level to a maximum depth of 20 metres measured from the frontage addressing urban open space towards Moyes Crescent.</p>	<p><b>C3</b></p> <p>Ground floor residential uses comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) are located generally in accordance with the area shown in Figure 2</li> <li>b) front and address the open space between the group centre and Moyes Crescent</li> <li>c) do not dominate ground floor commercial spaces.</li> </ul>
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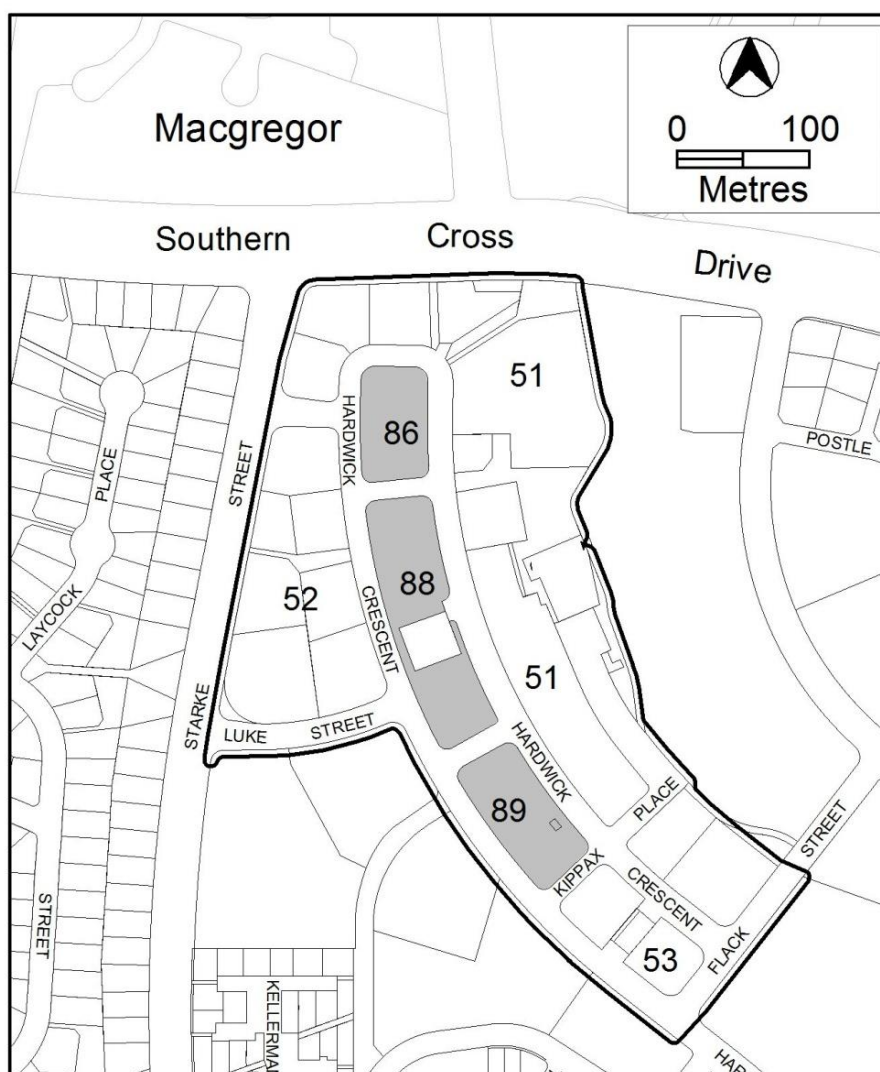


**Figure 1 Active frontages**



**Figure 2 Ground floor uses and built form**

Rules	Criteria
<b>1.2 Industrial trades, municipal depot, store</b>	
<p>R4</p> <p>This rule applies to the shaded area shown in Figure 3.</p> <p>Development complies with all of the following:</p> <ul style="list-style-type: none"> <li>a) the existing number of car parking spaces is retained on the site and made available for public use at all times</li> <li>b) provides car parking that is generated by the development on site in accordance with the <i>Parking and Vehicular Access General Code</i> in addition to the spaces required by item a).</li> </ul>	<p>C4</p> <p>Development achieves all of the following:</p> <p>This is a mandatory requirement. There is no applicable criterion.</p> <ul style="list-style-type: none"> <li>a) any additional parking provision requirements (under the <i>Parking and Vehicular Access General Code</i>) for the development</li> <li>b) makes a substantial contribution to the long term publicly accessible parking supply at the group centre.</li> </ul>



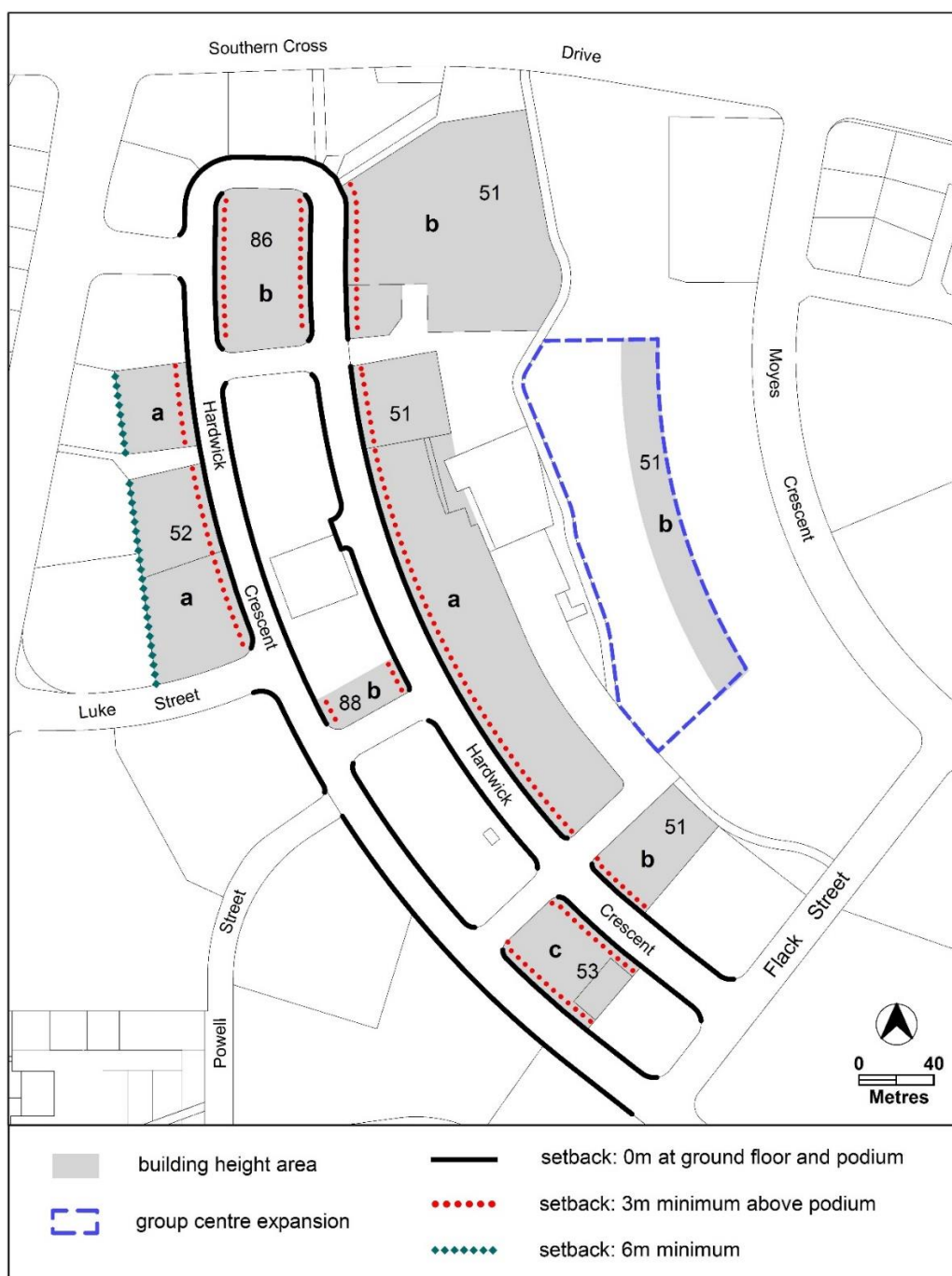
**Figure 3 Nominated parking areas**

## Element 2: Buildings

Rules	Criteria
<b>2.1 Active frontages</b>	
There is no applicable rule.	<p>C5</p> <p>This criterion applies to buildings located along primary active frontage areas identified in Figure 1. Frontages and building design comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) development is oriented towards the street</li> <li>b) buildings incorporate clear display windows and/or shop fronts at the ground floor level</li> <li>c) buildings incorporate direct pedestrian access at grade with the verge level for access and egress for persons with disabilities</li> <li>d) any small areas of walls without windows contain displays, showcases and/or public art, with a maximum of 30% blank frontage per tenancy.</li> </ul>
<p>R6</p> <p>For buildings located along secondary active frontage areas identified in Figure 1, frontages and building design complies with all of the following:</p> <ul style="list-style-type: none"> <li>a) be oriented towards the secondary active frontage</li> <li>b) where residential uses are permitted at the ground floor level, individual entries are provided at street or ground level to allow for physical interaction and passive surveillance.</li> </ul>	<p>C6</p> <p>Development at ground floor level achieves all of the following:</p> <ul style="list-style-type: none"> <li>a) is adaptable for shops</li> <li>b) where building access is provided, direct pedestrian access is at street level</li> <li>c) provide opportunities for views into and out of the building.</li> </ul>
<b>2.2 Materials and finishes</b>	
There is no applicable rule.	<p>C7</p> <p>This criterion applies to the area shown in Figure 2.</p> <p>Materials and finishes are of a high quality and appropriate to walls that are fronting public thoroughfares, places and spaces consistent with all of the following:</p> <ul style="list-style-type: none"> <li>a) variations in depth and materials</li> <li>b) non-reflective materials where visible from the street and/or neighbouring buildings</li> <li>c) materials which do not contribute to heat island effect such as those with high emissivity, low thermal mass or high albedo.</li> </ul>

Rules	Criteria
<b>2.3 Setbacks</b>	
<p>R8</p> <p>This rule applies to buildings fronting Hardwick Crescent as identified on Figure 4 and buildings fronting primary active frontages as identified on Figure 1.</p> <p>Buildings comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) maintain a maximum podium height of 2 storeys and 9 metres</li> <li>b) development above the podium is setback a minimum of 3 metres excluding balconies.</li> </ul>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R9</p> <p>This rule applies to development fronting Hardwick Crescent as identified on Figure 4.</p> <p>Buildings have a zero front setback at ground floor and podium levels.</p>	<p>C9</p> <p>Buildings achieve all of the following:</p> <ul style="list-style-type: none"> <li>a) a continuous building facade to the street</li> <li>b) building alignment is consistent with active uses at the ground level.</li> </ul>
<p>R10</p> <p>This rule applies to blocks in Holt section 52 as included in area 'a' on Figure 4.</p> <p>The setback to the western most block boundary is a minimum of 6 metres.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<b>2.4 Building heights</b>	
<p>R11</p> <p>The maximum <i>height of buildings</i> is two storeys, except for the following areas shown in Figure 4:</p> <ul style="list-style-type: none"> <li>a) area 'a'— six storeys and a maximum of 20 metres in height</li> <li>b) area 'b'— three storeys and a maximum of 11 metres in height</li> <li>c) area 'c' – five storeys and a maximum of 17 metres in height.</li> </ul> <p>Plant room set back a minimum of 3 metres from the building facade of the floor immediately below is not included in the number of storeys.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<b>2.5 Building design</b>	
<p>R12</p> <p>This rule applies to ground floor levels throughout the group centre.</p> <p>The minimum floor to ceiling height is 3.6 metres.</p>	<p>C12</p> <p>The ground floor level of buildings is adaptable for commercial uses.</p>

Rules	Criteria
<p><b>R13</b></p> <p>This rule applies to all residential uses at the second storey and above throughout the group centre.</p> <p>The floor to ceiling height is a minimum of 2.7 metres.</p>	<p><b>C13</b></p> <p>Floor to ceiling heights comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) contribute to natural ventilation</li> <li>b) promote penetration of daylight.</li> </ul>



**Figure 4 Building heights and set backs**



Rules	Criteria
<b>2.6 Plot ratio</b>	
There is no applicable rule.	C14 <i>Plot ratio</i> achieves consistency with the <i>desired character</i> .
<b>2.7 Privacy</b>	
There is no applicable rule.	C15 This criterion applies to residential development adjoining residential use or community uses. Development minimises overlooking onto adjoining uses.
<b>2.8 Solar access and micro climate</b>	
R16 Development retains a minimum 3 hours solar access to the main daytime living areas and <i>principal private open space</i> of <i>dwellings</i> on adjoining blocks between the hours of 9am and 3pm on the winter solstice (21 June).	C16 Development retains reasonable solar access to <i>dwellings</i> on adjoining blocks and their associated <i>principal private open space</i> .
R17 This rule applies to development adjoining the future central plaza and open space as shown on Figure 5. Public places and open spaces are not overshadowed between 10am and 2pm on the Winter Solstice (21 June).	C17 Development retains reasonable solar access to public places and open spaces.
There is no applicable rule.	C18 Development is designed, oriented and incorporates use of landscaping and sun-shading devices to achieve all of the following: a) promote passive solar access in winter b) promote passive cooling in summer c) mitigate and minimise potential impacts on the microclimate of the centre.

Rules	Criteria
<b>2.9 Heat island effect</b>	
There is no applicable rule.	<p>C19</p> <p>Development ensures no net gain of urban heat. Compliance with this criterion is demonstrated in a microclimate assessment report by a qualified professional which details building and place design and use of mitigating measures including:</p> <ul style="list-style-type: none"> <li>a) low thermal mass, high albedo and or high emissivity building materials and/or finishes</li> <li>b) inclusion of canopy trees to achieve an overall minimum of 30% shade across the commercial zones of the Kippax Group Centre, measured at mature tree height or an equivalent area should be achieved through planting on structures</li> <li>c) a minimum of 30% permeable surfaces across the commercial zones of Kippax Group Centre</li> <li>d) use of water features</li> <li>e) appropriate location of open space and buildings</li> <li>f) other types of cooling measures such as green roofs, vertical gardens and shade structures.</li> </ul>
<b>2.10 Awnings</b>	
<p>R20</p> <p>This rule applies to buildings fronting primary active frontage areas shown in Figure1.</p> <p>Awnings are provided along the entire length of the building frontage that comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) cantilevered awnings for the full extent of the building frontage</li> <li>b) awnings are a minimum height of 3 metres above finished pavement or ground level of the verge</li> <li>c) awnings are integrated into the building design at the first floor level</li> <li>d) awnings are a minimum of 3 metres in cantilever depth, except: <ul style="list-style-type: none"> <li>i) where opposing primary active frontages are 6 metres apart or less, awning depth may be reduced to</li> </ul> </li> </ul>	<p>C20</p> <p>Awnings are provided along primary active frontages to provide suitable all weather protection for pedestrians.</p>

Rules	Criteria
<p>ensure awnings are separated by 0.5 metres</p> <p>ii) where a reduction in awning depth is required to accommodate existing infrastructure and/or street trees.</p>	
<b>2.11 Loading docks</b>	
<p>R21</p> <p>This rule applies to any loading dock located fully or partly within the group centre expansion area shown in Figure 5.</p> <p>The loading dock complies with all of the following:</p> <p>a) is designed as forward in and forward out</p> <p>b) is acoustically sealable.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>

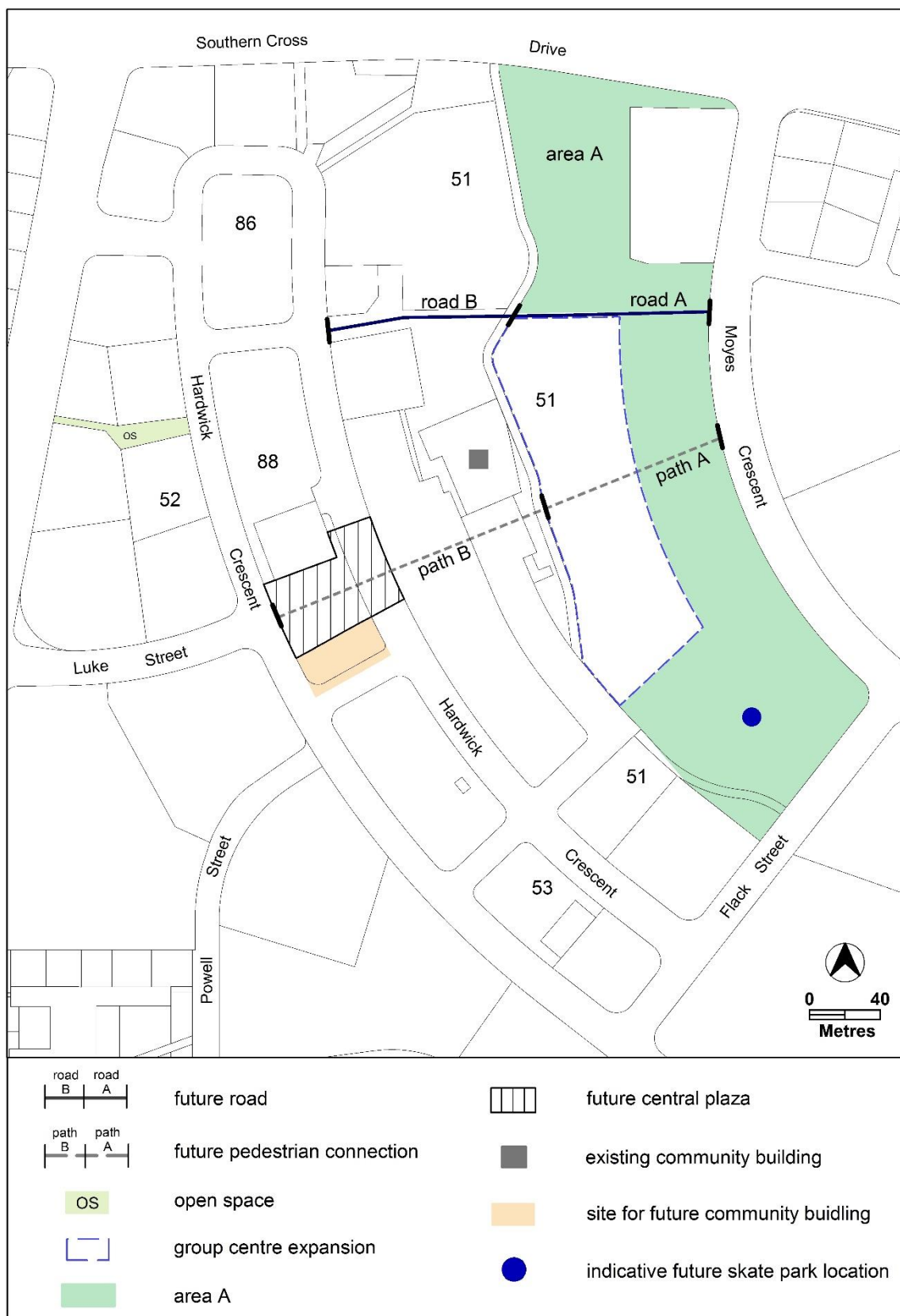
### Element 3: Subdivision

Rules	Criteria
<b>3.1 Pedestrian connections</b>	
<p>R22</p> <p>This rule applies to the area shown in Figure 5</p> <p>Pedestrian connections comply with all of the following:</p> <p>a) minimum unobstructed internal width is 3m</p> <p>b) a minimum extent of 30% glazing at the ground floor measured along the length of the pedestrian connection</p> <p>c) access to ground floor commercial tenancies adjoining the pedestrian connection.</p>	<p>C22</p> <p>Pedestrian connections achieve all of the following:</p> <p>a) reasonable public access</p> <p>b) views into and out of adjoining commercial premises</p> <p>c) clearly identifiable entrances</p> <p>d) minimised distances between opposing entrances of pedestrian connections.</p>

## Element 4: Entity (Government agency) endorsement

Rules	Criteria
<b>4.1 Entity endorsement</b>	
<p>R23</p> <p>The following matters are to be endorsed by Transport Canberra and City Services</p> <ul style="list-style-type: none"> <li>a) landscaping</li> <li>b) footpaths</li> <li>c) pedestrian connections</li> <li>d) driveway access.</li> </ul>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<b>4.2 Off-site works for the development of the group centre expansion area</b>	
<p>There is no applicable rule.</p>	<p>C24</p> <p>This criterion applies to the group centre expansion area shown in Figure 5.</p> <p>Development of the group centre expansion area must include the following off-site works that are required to be designed and constructed to the satisfaction of the Transport Canberra and City Services Directorate:</p> <ul style="list-style-type: none"> <li>a) upgrade the open space identified in area A in Figure 5 consistent with all of the following: <ul style="list-style-type: none"> <li>i) a flood investigation report demonstrating that development in the expansion area does not increase flood risk in Area A</li> <li>ii) details of flood mitigation measures and water sensitive urban design works to be implemented as off-site works</li> </ul> </li> <li>b) demolish the existing community building and construct a new community building as identified in Figure 5</li> <li>c) construct a new road identified in Figure 5 consistent with all of the following: <ul style="list-style-type: none"> <li>i) construct road A generally in accordance with Figure 5</li> <li>ii) construct road A such that it can be connected road B to form a through road</li> <li>iii) provide basement access to development in the group centre expansion area from road A</li> </ul> </li> </ul>

Rules	Criteria
	<p>d) construct a new pedestrian path identified in Figure 5 consistent with all of the following:</p> <ul style="list-style-type: none"> <li>i) construct path A generally in accordance with Figure 5</li> <li>ii) construct path A such that it can be connected to path B to form a thoroughfare</li> </ul> <p>e) construct the new skate park in a central location within the urban open space area identified in Figure 5 consistent with all of the following:</p> <ul style="list-style-type: none"> <li>i) is outside the drainage line</li> <li>ii) has good passive surveillance from surrounding streets and residential areas.</li> </ul> <p><i>Note: the pedestrian path within the shopping centre would only be publicly accessible during opening hours.</i></p>
There is no applicable rule.	<p>C25</p> <p>This criterion applies to road B identified on Figure 5</p> <p>Development of the blocks containing and/or fronting part B of the new road must be consistent with all of the following:</p> <ul style="list-style-type: none"> <li>a) construct road B consistent with Figure 5 for the length of the block</li> <li>b) construct road B such that it can connected to road A to form a through road</li> <li>c) design and construct the road to the satisfaction of the Transport Canberra and City Services Directorate.</li> </ul>
There is no applicable rule.	<p>C26</p> <p>This applies to path B identified on Figure 5</p> <p>Development of blocks containing and/or fronting the pedestrian path B must be consistent with all of the following:</p> <ul style="list-style-type: none"> <li>a) construct path B as identified on Figure 5</li> <li>b) construct the path B such that it can be connected to path A to form a thoroughfare</li> <li>c) design and construct the off-site parts of the path of the satisfaction of the Transport Canberra and City Services Directorate.</li> </ul>



**Figure 5 Future roads, pedestrian paths, public spaces and community buildings**

## RC2 – Residential

This part applies to blocks and parcels identified in area RC2 shown on the Holt Precinct Map.

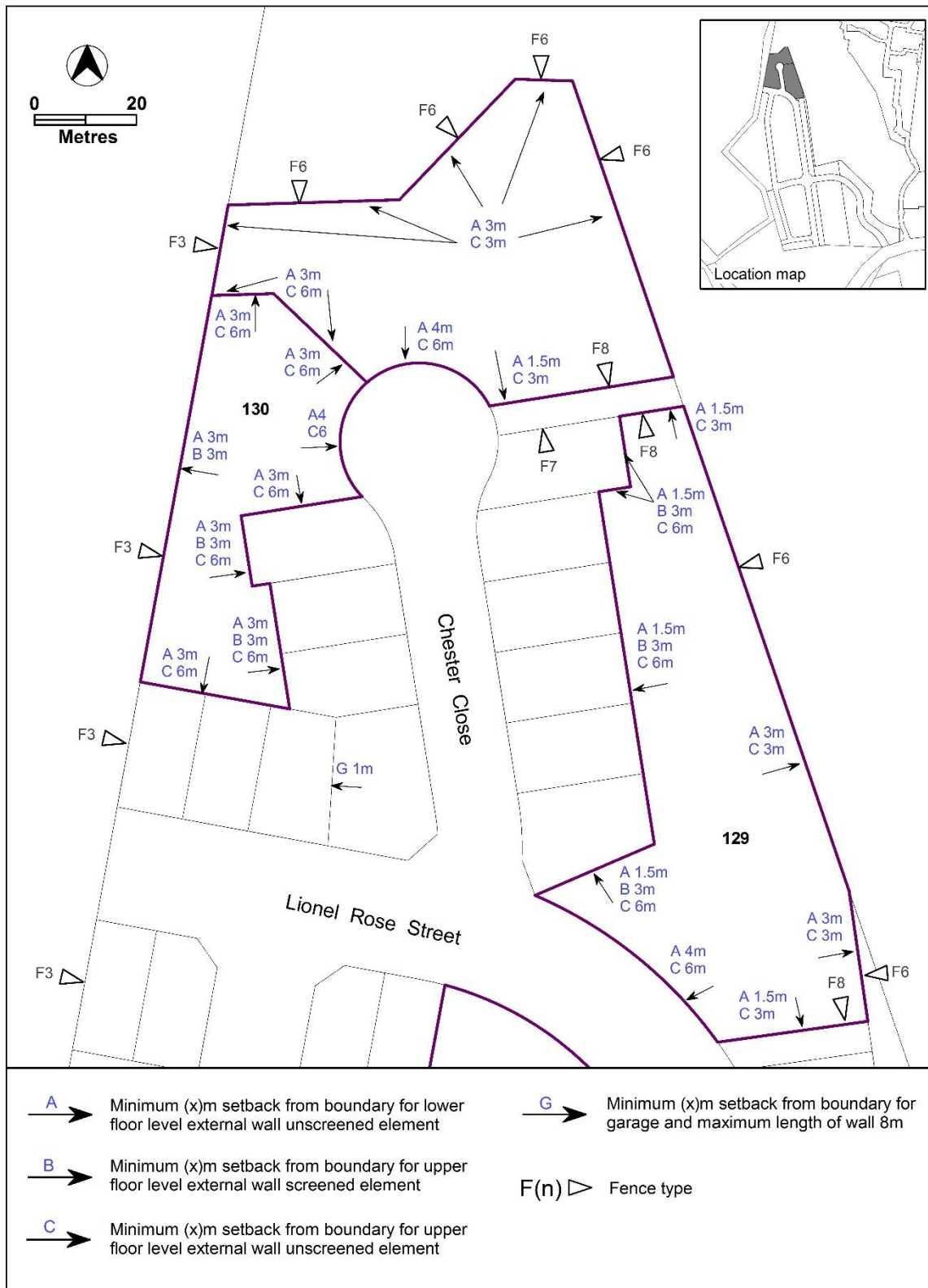
### Element 3: Building and site controls

Rules	Criteria
<b>3.1 Setbacks</b>	
<p>R6</p> <p>This rule applies to blocks or parcels in locations identified in Figures 2, 3, 4 and 5.</p> <p>Minimum boundary setbacks for both <i>lower floor level</i> and <i>upper floor level unscreened elements</i> are nominated.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R7</p> <p>This rule applies to blocks or parcels in locations identified in Figures 2, 3, 4 and 5.</p> <p>Minimum boundary setback to <i>upper floor level</i> external wall screened element is nominated.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R8</p> <p>This rule applies to blocks or parcels in locations identified in Figures 2, 3, 4 and 5.</p> <p>Minimum boundary setback of 0m to both <i>lower floor level</i> and <i>upper floor level</i> unscreened element is nominated.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R9</p> <p>This rule applies to blocks or parcels in locations identified in Figures 3 and 4.</p> <p>Minimum boundary setback to garage is nominated and the maximum length of wall is 8m.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>R10</p> <p>This rule applies to blocks or parcels in locations identified in Figures 3 and 4.</p> <p>Mandatory boundary setback of 0m to <i>lower floor level</i> for a maximum length of 13m measured from minimum front setback.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<b>3.2 Height of buildings</b>	
<p>R11</p> <p>This rule applies to blocks or parcels in locations identified in Figure 3.</p> <p>Maximum <i>height of buildings</i> is 1 storey.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>

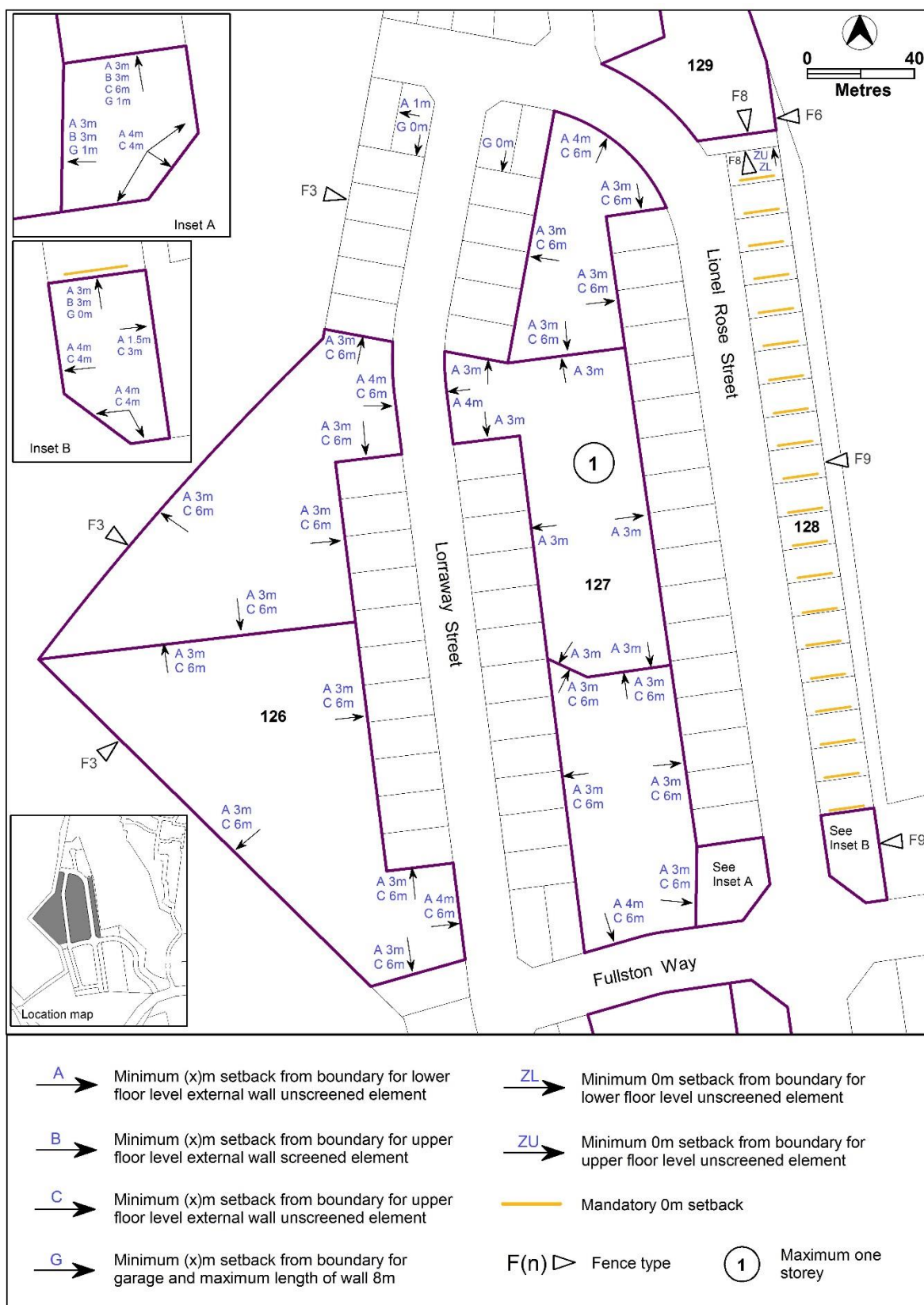
Rules	Criteria
<b>3.3 Fences</b>	
<p><b>R12</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F10' in Figure 5.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary it is to be 1800mm high, 470 x 350 piers, with lapped and capped timber infill panels.</p> <p>Note: See Diagram 5 for an example of fence type 'F10'.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p><b>R13</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F3' in Figures 2, 3 and 4.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary it is to be a colorbond metal fence 1.8m high. Colour is to be colorbond 'Woodland Grey'.</p> <p>Note: See Diagram 2 for an example of fence type 'F3'.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p><b>R14</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F4' in Figure 5.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary it is to be 1800mm high 470x350 piers with 230mm masonry infill.</p> <p>Note: See Diagram 3 for an example of fence type 'F4'.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p><b>R15</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F6' in Figures 2, 3, and 5.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary it is to be either 1.2m or 1.5m high pool type fence with 50mm SHS posts and tubular pool type panels finished in a black powdercoat.</p> <p>Note: See Diagram 4 for an example of fence type 'F6'.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>



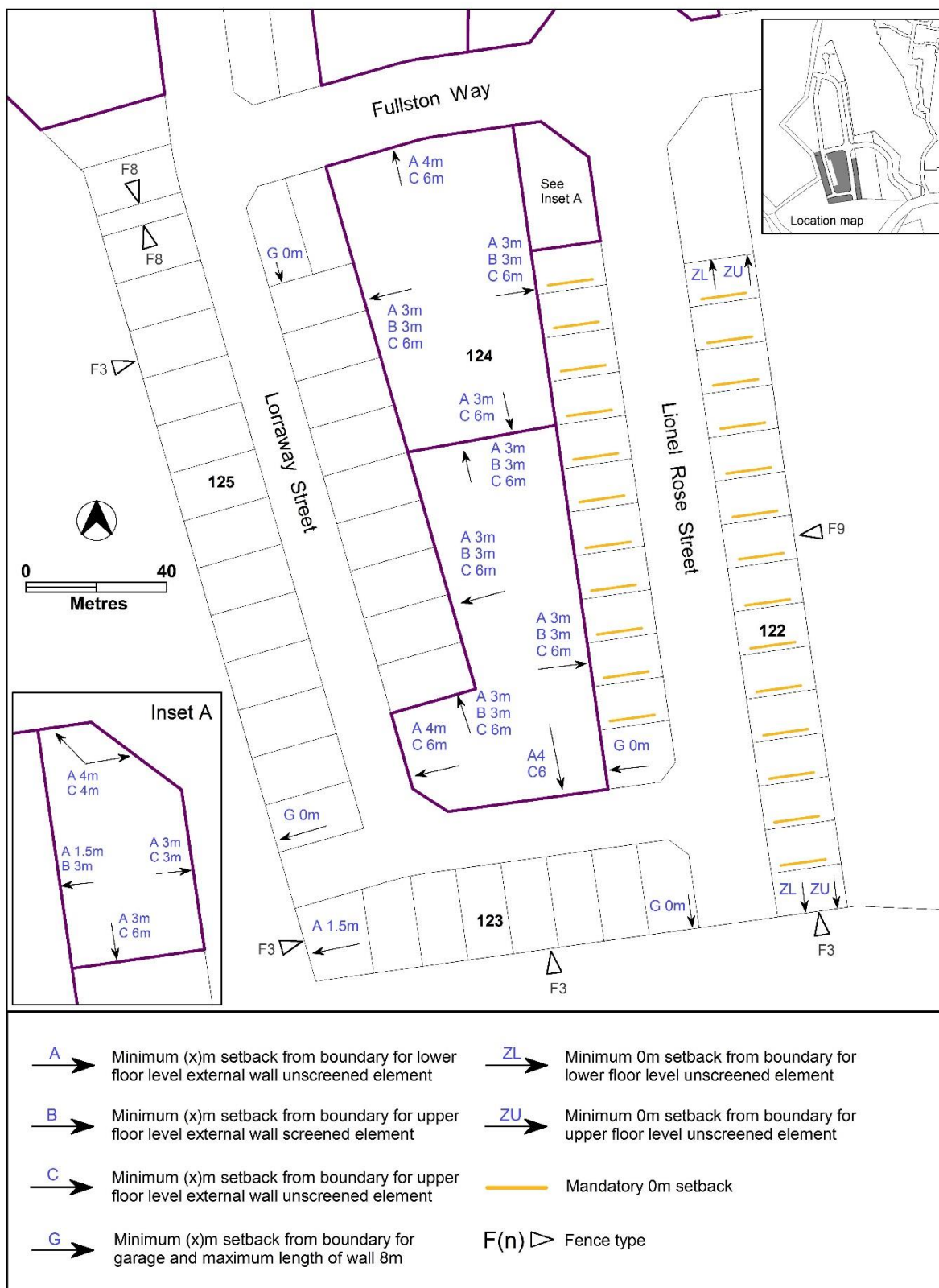
Rules	Criteria
<p><b>R16</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F7' in Figure 2.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary it is to be 1.8m high lapped and capped timber fence or 1.8m high masonry wall same as fence type F4 or combination of 1.8m high masonry piers with lapped and capped timber fence panels same as fence type F10.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p><b>R17</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F8' in Figures 2, 3 and 4.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary enclosing a private open space, fence to be fence type F7 as described in Rule R16.</p> <p>In all other cases where fence is constructed it is to be type F1 or F9.</p> <p>Note: See Diagrams for examples of relevant fence types.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p><b>R18</b></p> <p>This rule applies to blocks or parcels in locations identified by 'F9' in Figures 3, 4 and 5.</p> <p>Fence permitted on this boundary. Where a fence is constructed on this boundary it is to be 1.5m high pool type fence with 50mm SHS posts and tubular pool type panels finished in a black powdercoat.</p> <p>Note: See Diagram 4 for an example of fence type 'F9'.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>



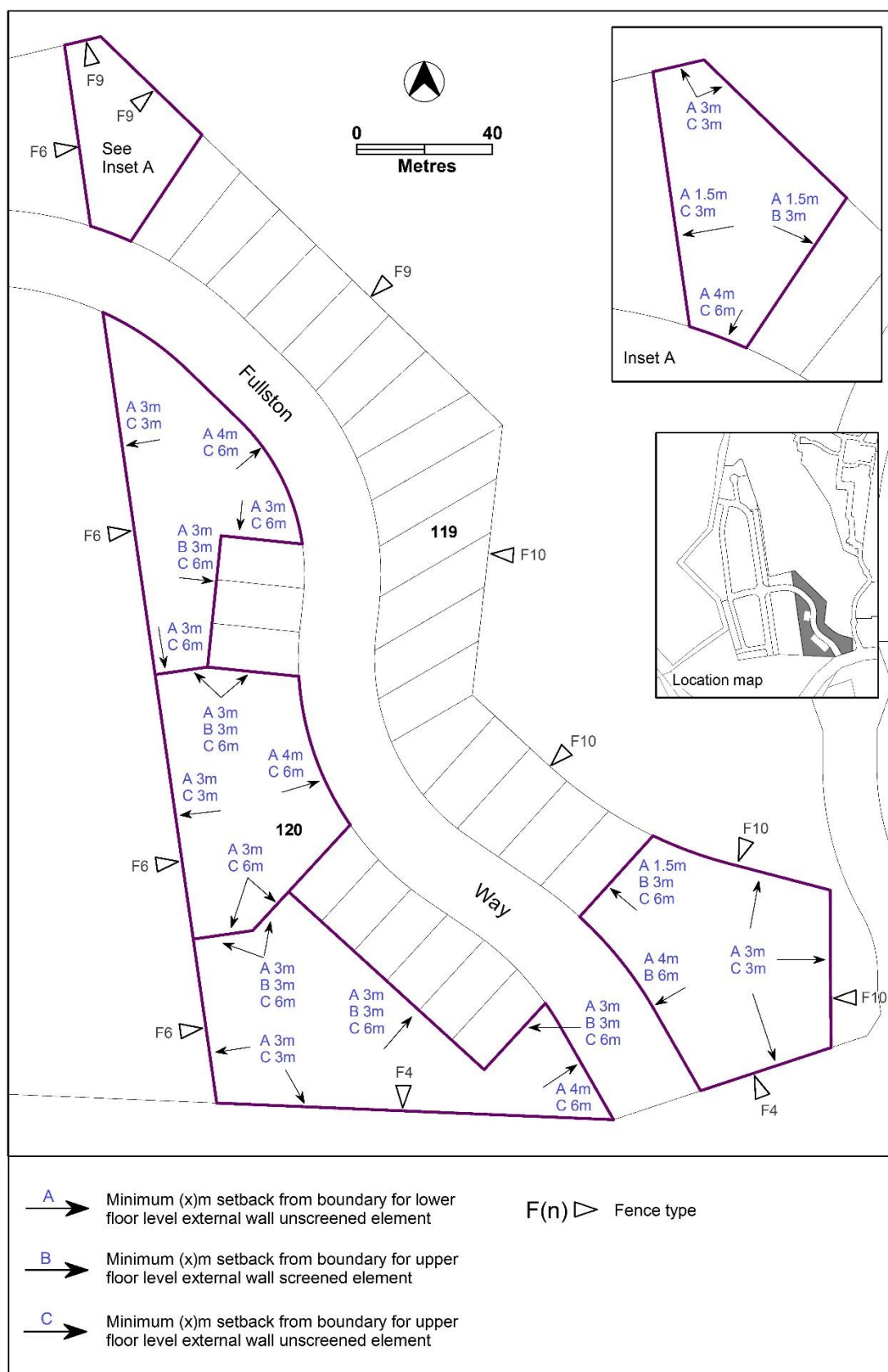
**Figure 2 Holt residential area 1**



**Figure 3 Holt residential area 2**

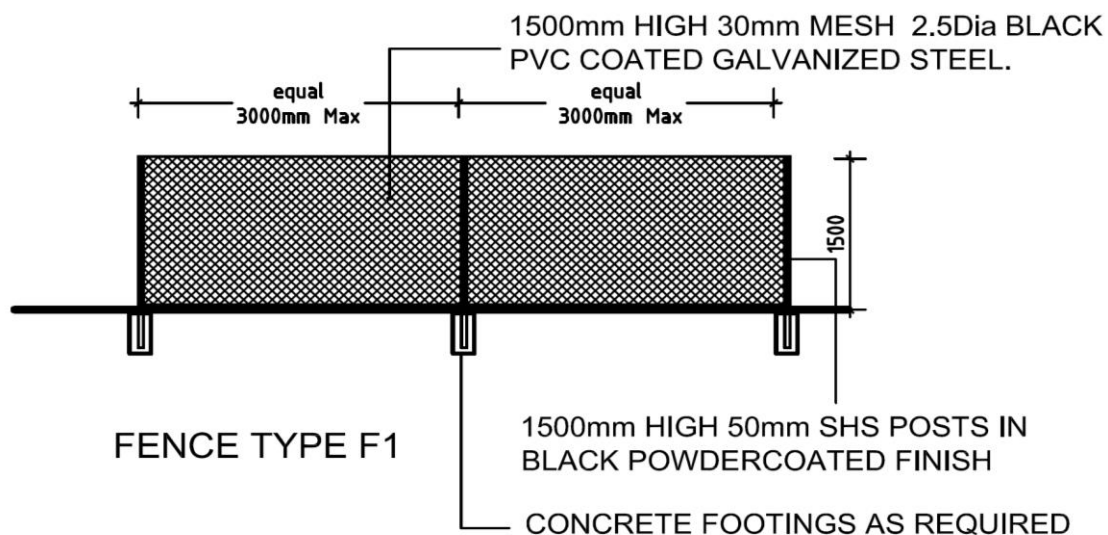


**Figure 4 Holt residential area 3**

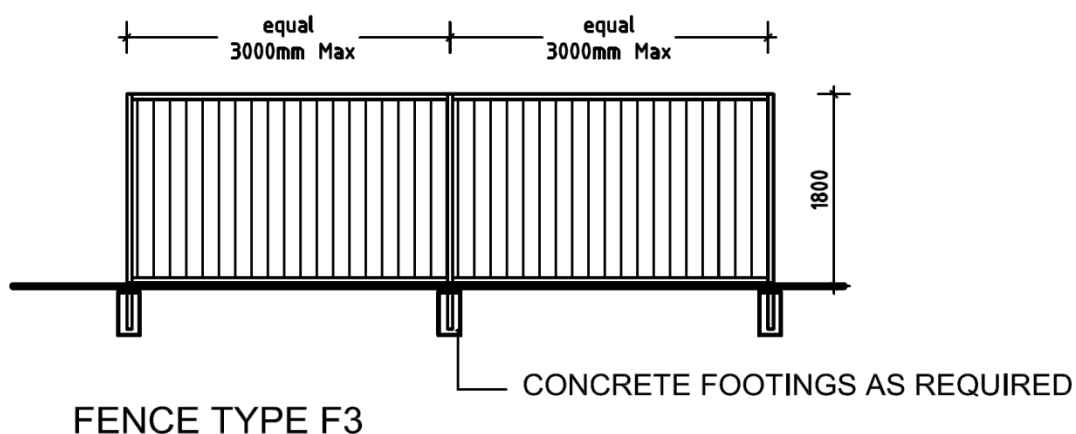


**Figure 5 Holt residential area 4**

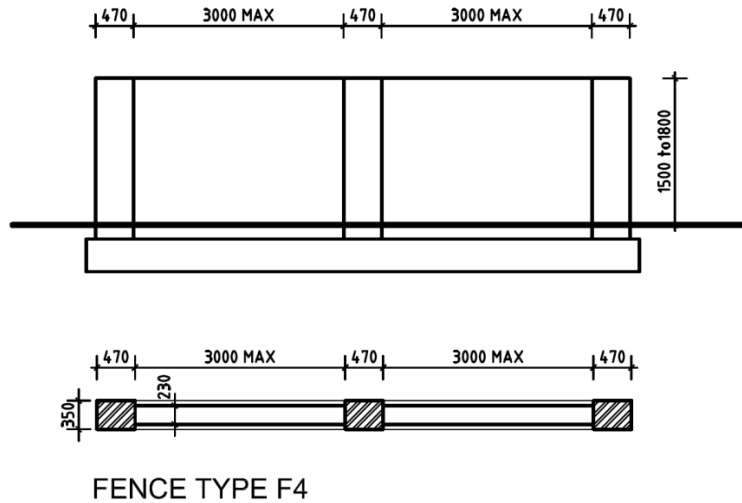




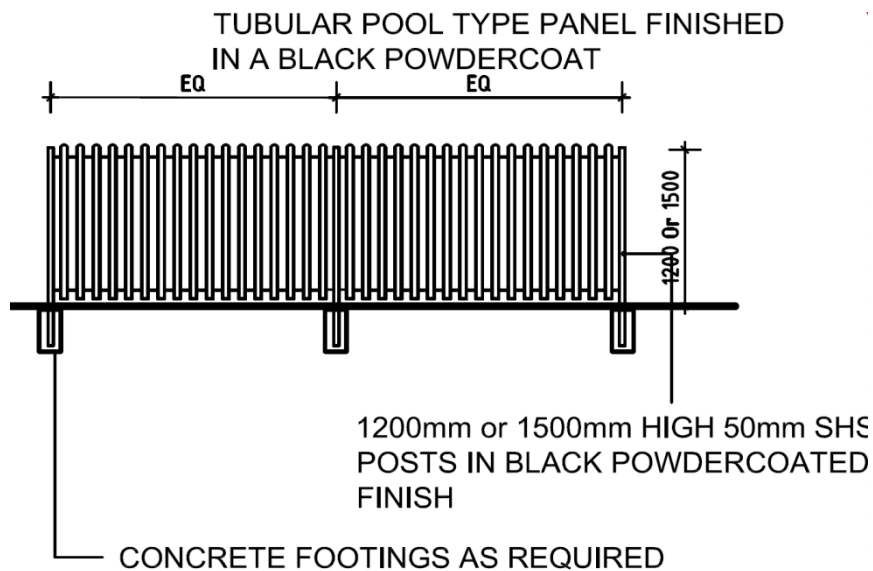
**Diagram 1 Fence type 'F1'**



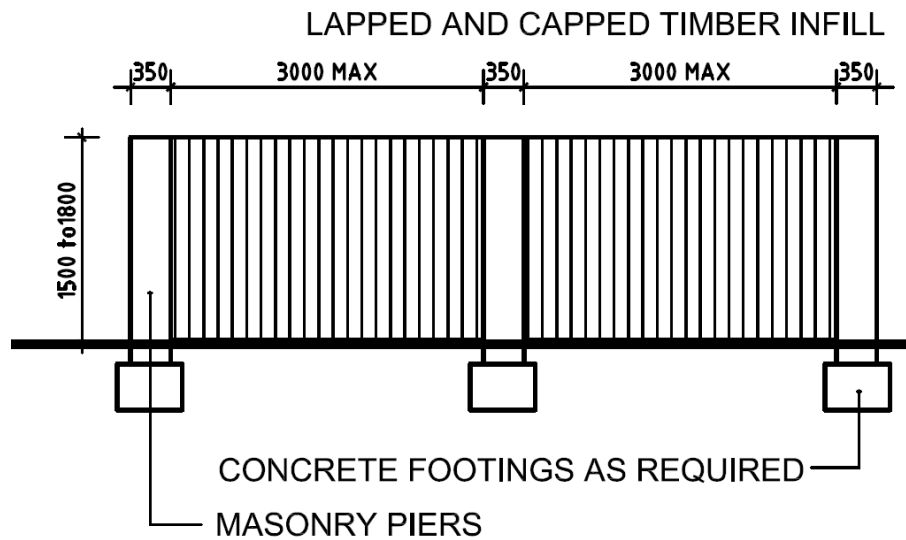
**Diagram 2 Fence type 'F3'**



**Diagram 3 Fence type 'F4'**



**Diagram 4 Fence types 'F6' and 'F9'**



**Diagram 5 Fence Type 'F10'**

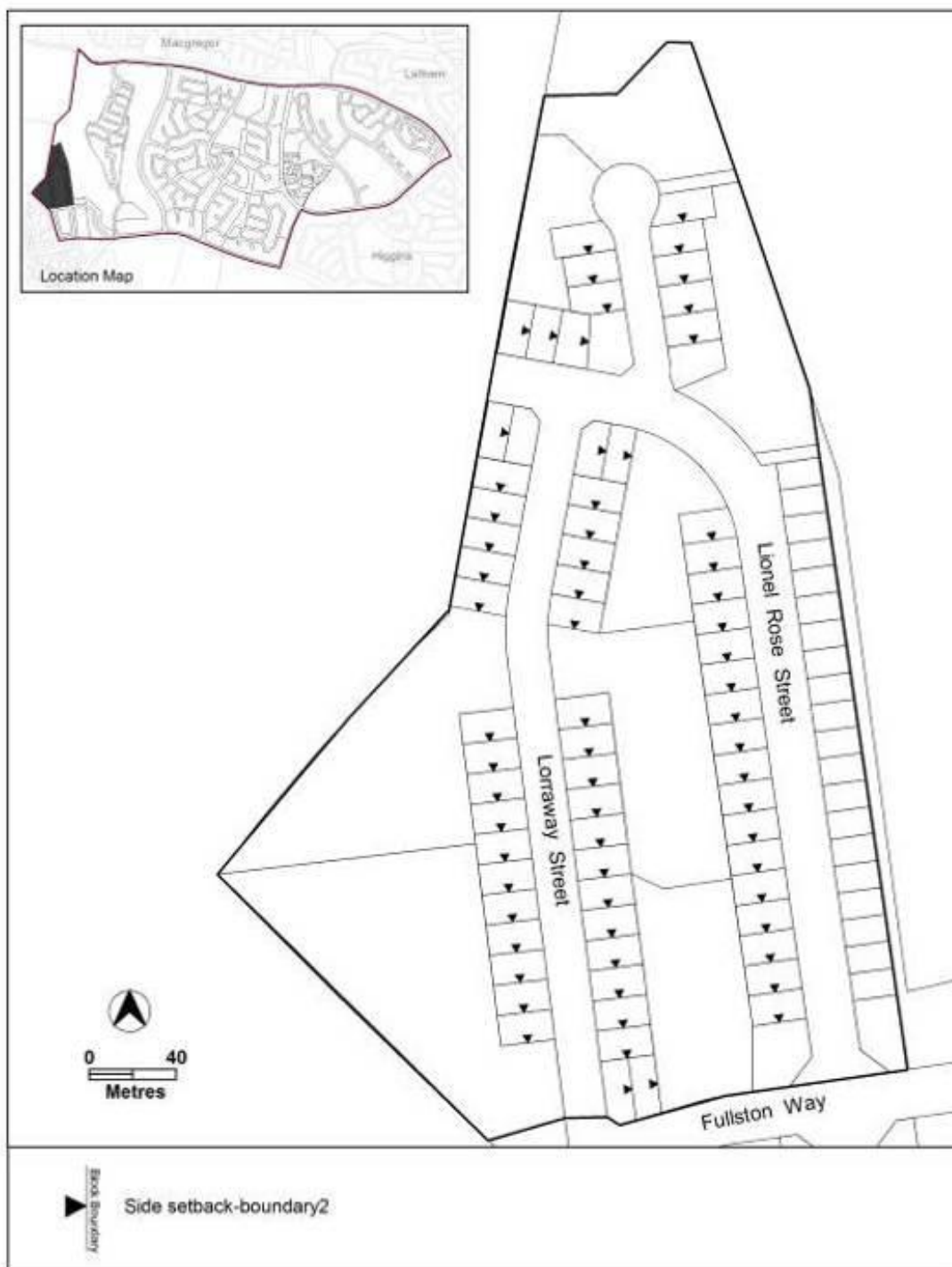


## Other ongoing provisions

This part applies to blocks and parcels identified as ongoing provisions (OPn) in the Holt Precinct Map. It should be read in conjunction with the relevant zone development code and related codes.

### OP1 – Holt residential area

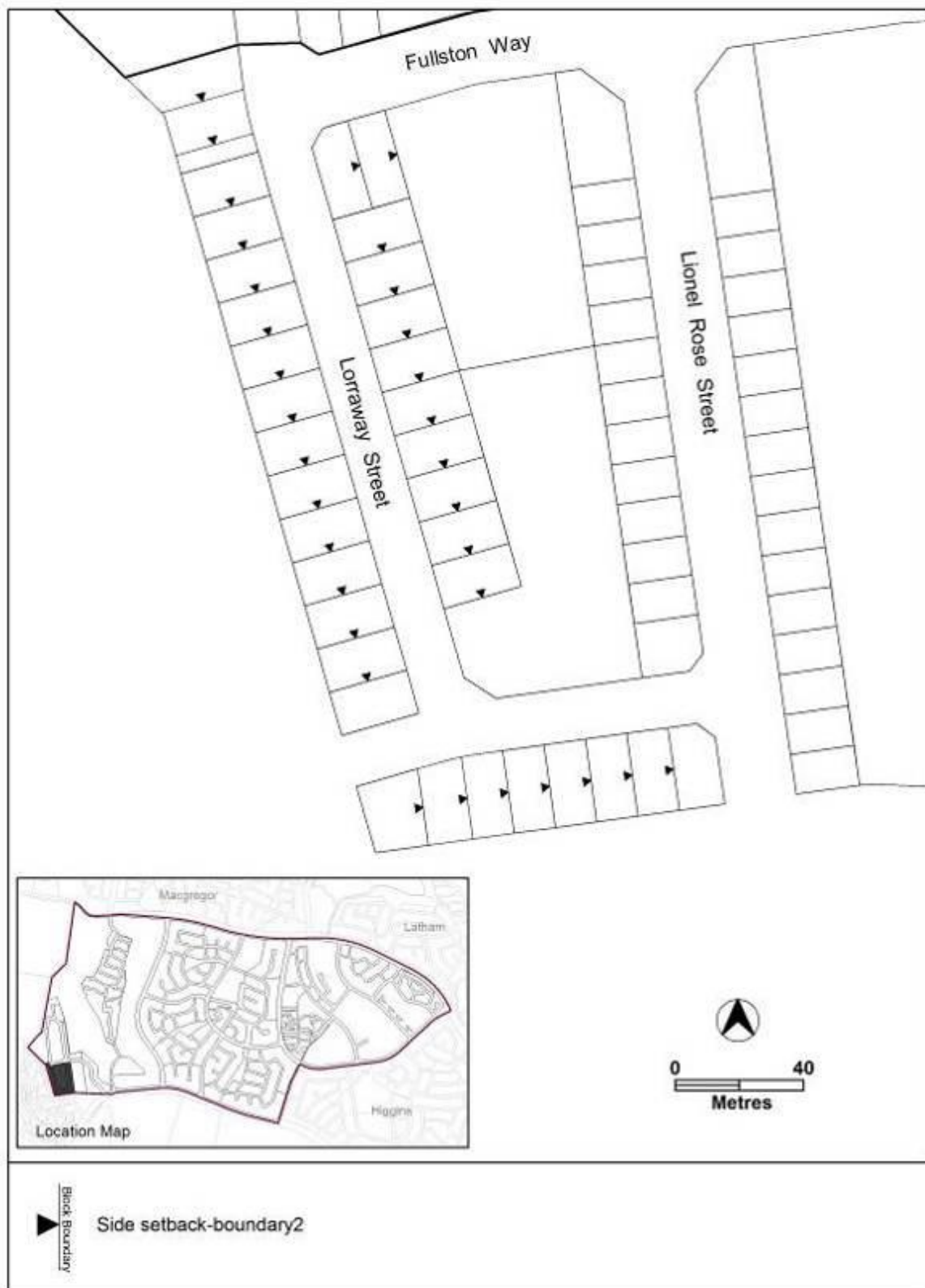
This part applies to blocks and parcels identified in area OP1 shown on the Holt Precinct Map.



**Figure 6 Holt residential area ongoing provisions**

## OP2 – Holt residential area

This part applies to blocks and parcels identified in area OP2 shown on the Holt Precinct Map.



**Figure 7 Holt residential area ongoing provisions**

## OP3 – Holt residential area

This part applies to blocks and parcels identified in area OP3 shown on the Holt Precinct Map.

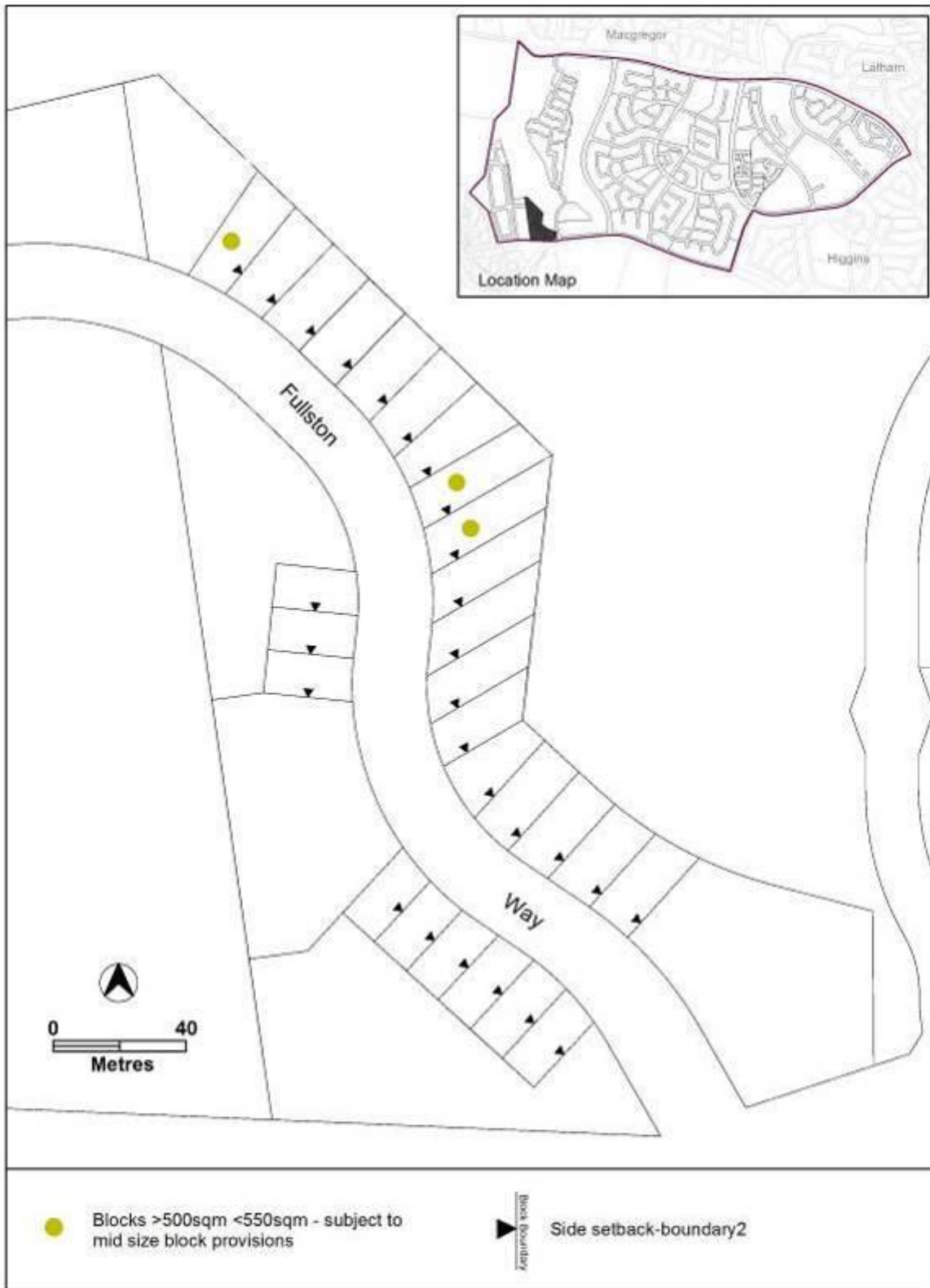


Figure 8 Holt residential area ongoing provisions