

RZ1 – Suburban Zone

Zone Objectives

- a) Create a wide range of affordable and sustainable housing choices within a low density residential environment to accommodate population growth and meet changing household and community needs
- b) Ensure development respects and contributes to the neighbourhood and landscape character of residential areas
- c) Provide opportunities for home based employment consistent with residential amenity
- d) Provide for a limited range of small-scale facilities to meet local needs consistent with residential amenity
- e) Promote energy efficiency and conservation and sustainable water use

RZ1 – Suburban Zone Development Table

| EXEMPT DEVELOPMENT | |
|--|---|
| Development approval not required, may need building approval On leased land, development must be authorised by a lease. | |
| Single dwelling housing - new residential land, subject to Section 20 and Schedule 1 of the Planning and Development Regulation 2008. | |
| Exempt Development identified in Section 20 and Schedule 1 of the Planning and Development Regulation 2008. | |
| ASSESSABLE DEVELOPMENT | |
| Development application required On leased land, development must be authorised by a lease. | |
| MINIMUM ASSESSMENT TRACK CODE | |
| Development application required and assessed in the Code Track | |
| Development | Code |
| Single dwelling housing (in areas not covered by Section 20 and Schedule 1 of the Planning and Development Regulation 2008) | Residential Zones - Single Dwelling Housing Development Code |
| MINIMUM ASSESSMENT TRACK MERIT | |
| Development application required and assessed in the Merit Track, unless specified in Schedule 4 of the Planning and Development Act 2007 (as Impact Track) or listed as prohibited in the Site Specific section below | |
| Development | Code |
| Ancillary use | Residential Zones - Multi Unit Housing Development Code |
| Boarding house | |
| Child care centre | |
| Community activity centre | |
| Consolidation | |
| Demolition | |
| Guest house | |
| Habitable suite | |
| Health facility | |
| Home business | |
| Minor road | |
| Minor use | |
| Multi-unit housing | |
| Parkland | |
| Relocatable unit | |
| Residential care accommodation | |
| Retirement Village | |
| Sign | Signs General Code |
| Single dwelling housing (where not exempt development or code track assessable) | Residential Zones - Single Dwelling Housing Development Code |
| Special dwelling | Residential Zones - Single Dwelling Housing Development Code Residential Zones - Multi Unit Housing Development Code |
| Subdivision | Future Urban Area Residential Subdivision Development Code Residential Zones Single Dwelling Housing Development Code Residential Zones - Multi Unit Housing Development Code |
| Supportive housing | Residential Zones - Multi Unit Housing Development Code |
| Temporary use | |

| Specific areas have additional developments that may be approved subject to assessment. These areas and the additional developments are listed below | | |
|---|------------------------|---|
| Site Identifier | Additional Development | Code |
| Holt section 99 block 11 (part) | SHOP | Holt section 99 block 11 (Belconnen Golf Course) Concept Plan Residential Zones – Multi Unit Housing Development Code |
| O'Malley (Figure 1) | Diplomatic residence | Residential Zones – Multi Unit Housing Development Code |
| | Chancellery | |
| Turner Section 42 Block 1 | COMMUNITY USE | Residential Zones – Multi Unit Housing Development Code |
| MINIMUM ASSESSMENT TRACK IMPACT | | |
| Development application required and assessed in the Impact Track | | |
| 1. A development that is not an Exempt, Code Track or Merit Track development where the development is allowed under an existing lease, (see Section 134 of the Planning and Development Act 2007). | | |
| 2. A development that would be permissible under the National Capital Plan but which is identified as prohibited development in this Table. | | |
| 3. Development specified in Schedule 4 of the Planning and Development Act 2007 and not listed as prohibited development in this Table. | | |
| 4. Development declared under Section 123 and Section 124 of the Planning and Development Act 2007 and not listed as prohibited development in this Table. | | |
| 5. Any development not listed in this Table. | | |

| PROHIBITED DEVELOPMENT | |
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| A development application can not be made | |
| Development listed below is prohibited development except where it is listed elsewhere in the Development Table. | |
| Agriculture | MAJOR UTILITY INSTALLATION |
| Airport | Mining industry |
| Animal care facility | Mobile home park |
| Animal husbandry | Motel |
| Aquatic recreation facility | Municipal depot |
| Bulk landscape supplies | Nature conservation area |
| Car park | Offensive industry |
| Caretakers residence | Office |
| Caravan park/camping ground | Outdoor recreation facility |
| Cemetery | Overnight camping area |
| Civic administration | Pedestrian plaza |
| Club | Place of assembly |
| Communications facility | Place of worship |
| Community theatre | Plant and equipment hire establishment |
| Commercial accommodation unit | Plantation forestry |
| Corrections facility | Playing field |
| Craft workshop | Produce market |
| Cultural facility | Public agency |
| Defence installation | Public transport facility |
| Drink establishment | Railway use |
| Drive-in cinema | Recyclable materials collection |
| Educational establishment | Recycling facility |
| Emergency services facility | Religious associated use |
| Farm tourism | Restaurant |
| Freight transport facility | Sand and gravel extraction |
| Funeral parlour | Scientific research establishment |

