

Australian Capital Territory

# Planning (Molonglo District) Technical Specifications 2023

**Notifiable instrument NI2023–548**

made under the

**Planning Act 2023, s 51 (Technical specifications)**

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**1 Name of instrument**

This instrument is the *Planning (Molonglo District) Technical Specifications 2023*.

**2 Commencement**

This instrument commences on 27 November 2023.

**3 Technical specifications**

I make the technical specifications at schedule 1.

Ben Ponton  
Chief Planner

5 September 2023



# DS5 – Molonglo Valley District Specifications

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# Molonglo Valley District planning technical specifications

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The primary assessment consideration for a development application is the assessment outcomes in the Territory Plan. In demonstrating compliance with the assessment outcomes, consideration may be given to the relevant planning technical specifications which may serve as a benchmark. While all assessment outcomes are to be met, not all outcomes are covered by a specification.

Planning technical specifications are used as a possible solution or to provide guidance for identified aspects of a development proposal. The specifications may also be used as a reference or benchmark in the preparation and assessment of development proposals to demonstrate compliance with the assessment outcomes, and the Territory Plan.

Where a proposed development complies with a relevant provision in the planning technical specifications and the development comprehensively addresses the assessment outcome, further assessment regarding those specific provisions will not be required.

The specifications in the Molonglo Valley District Specifications can be used to demonstrate compliance with the assessment outcomes in the Molonglo Valley District Policy or the relevant zone policy. Where there is a specific assessment outcome in the Molonglo Valley District Policy, this takes precedence over the equivalent outcome in the zone policy. Where there is no specific assessment outcome in the Molonglo Valley District Policy, the specification can be used to demonstrate compliance with the assessment outcomes in the zone policy.

The Territory Planning Authority may consider advice or written support from a referral entity to demonstrate compliance with a relevant assessment outcome. Where endorsement from an entity is noted as a planning specification, entity referral may be required.

Consistent with the Molonglo Valley District Policy, this Molonglo Valley District Specifications comprises specifications for specific localities, structured according to the localities.

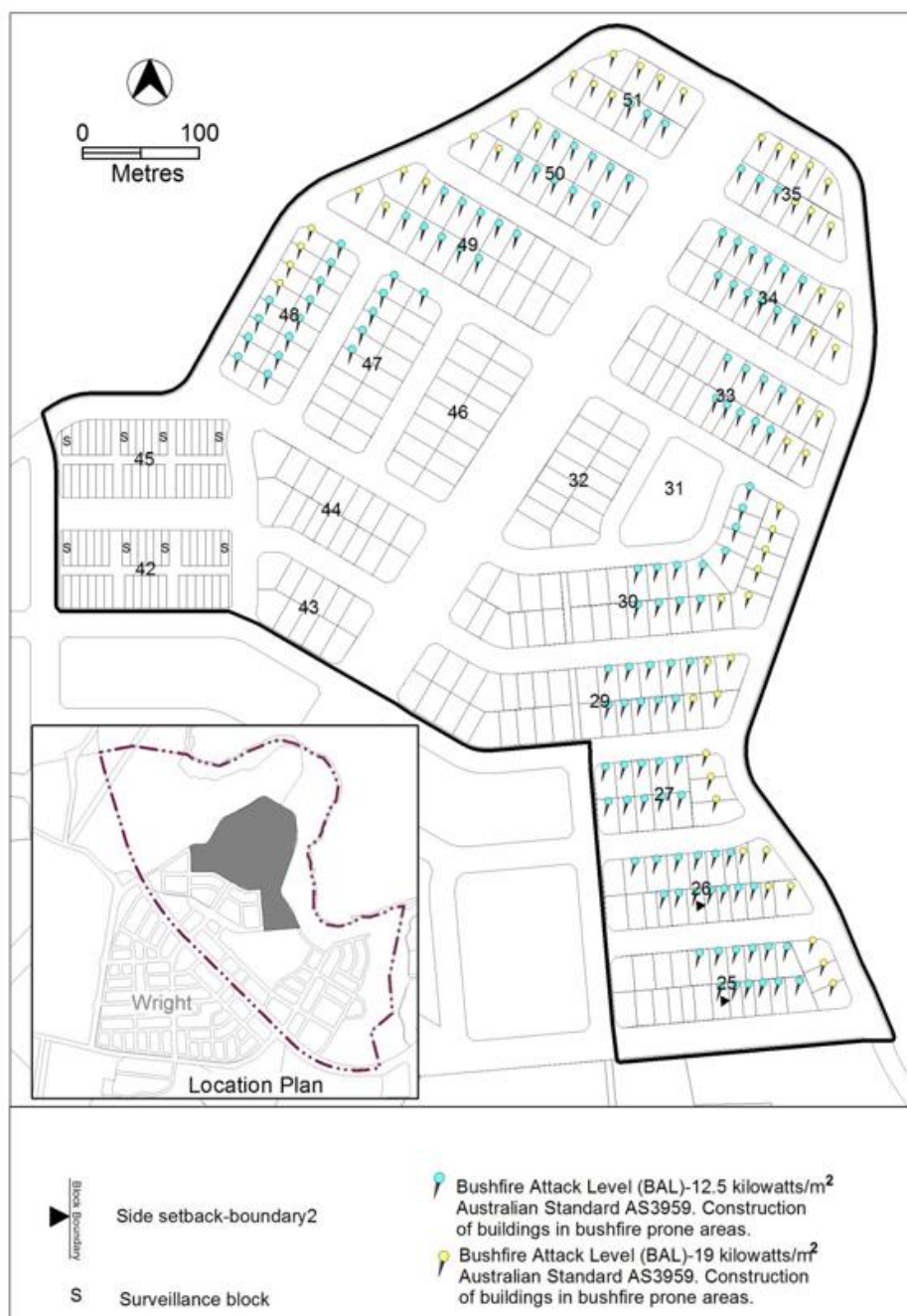
These specifications will only apply to the specific sites or locations they refer to and should be used in conjunction with the relevant district policy, i.e., **Part D5: Molonglo Valley District Policy**.

# 1. Coombs

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Coombs:

Assessment Outcome	Refer to zone assessment outcomes
<b>Specification</b>	
<b>Bushfire Requirements – Figure 1, 2, 3 and 4</b>	1.1. Development complies with the specified bushfire attack level construction requirements and noise provisions.

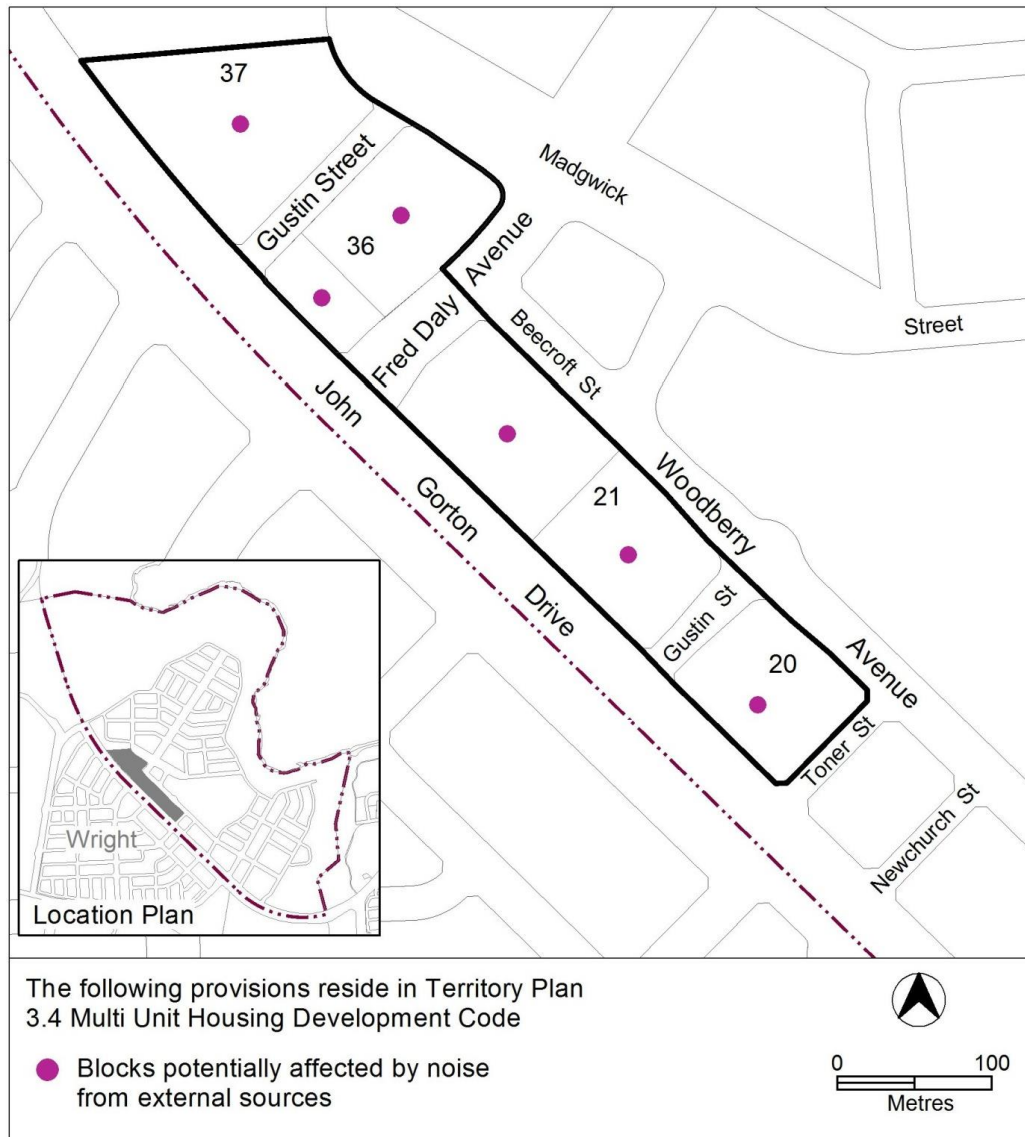
**Figure 1 Coombs – Bushfire Provisions**



**Figure 2 Coombs - Bushfire Provisions**

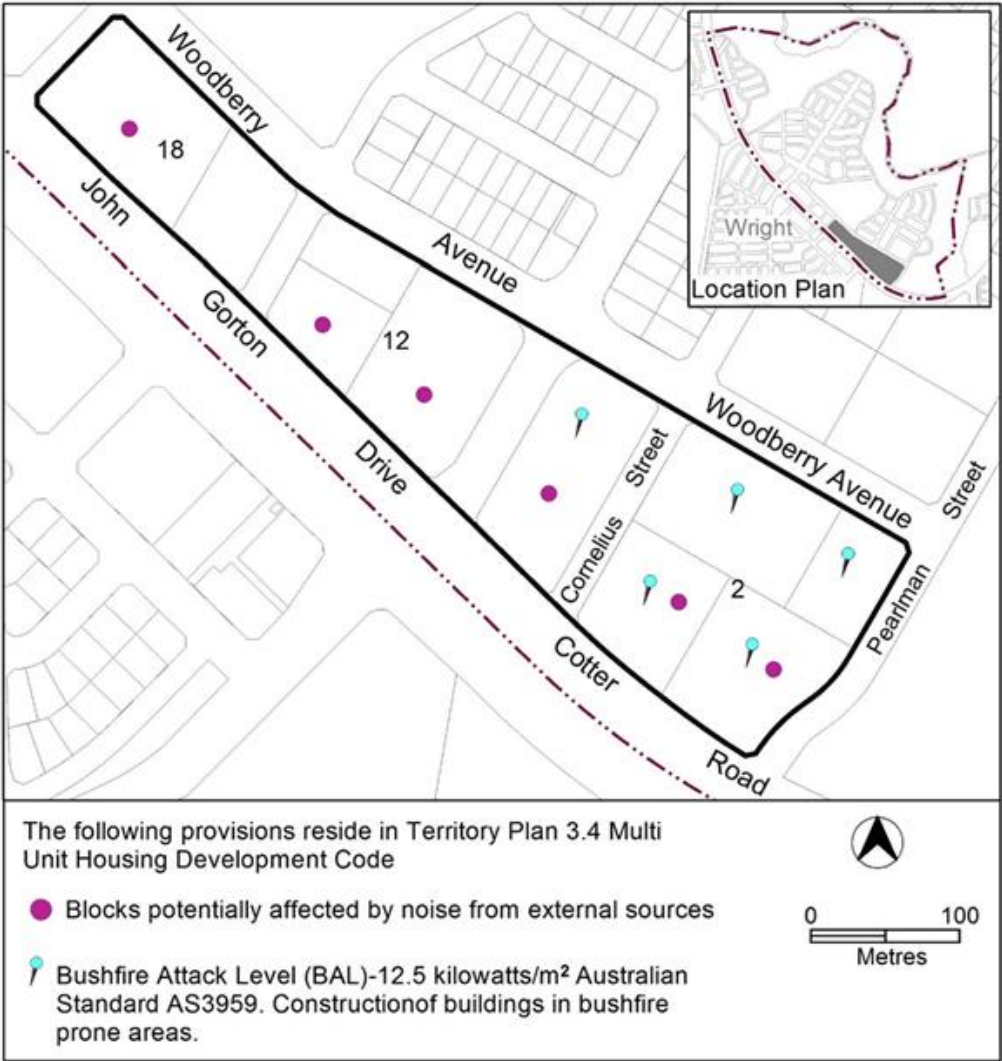


**Figure 3 Coombs – Noise Provisions**





**Figure 4 Coombs – Noise and Bushfire Provisions**



## 2. Denman Prospect

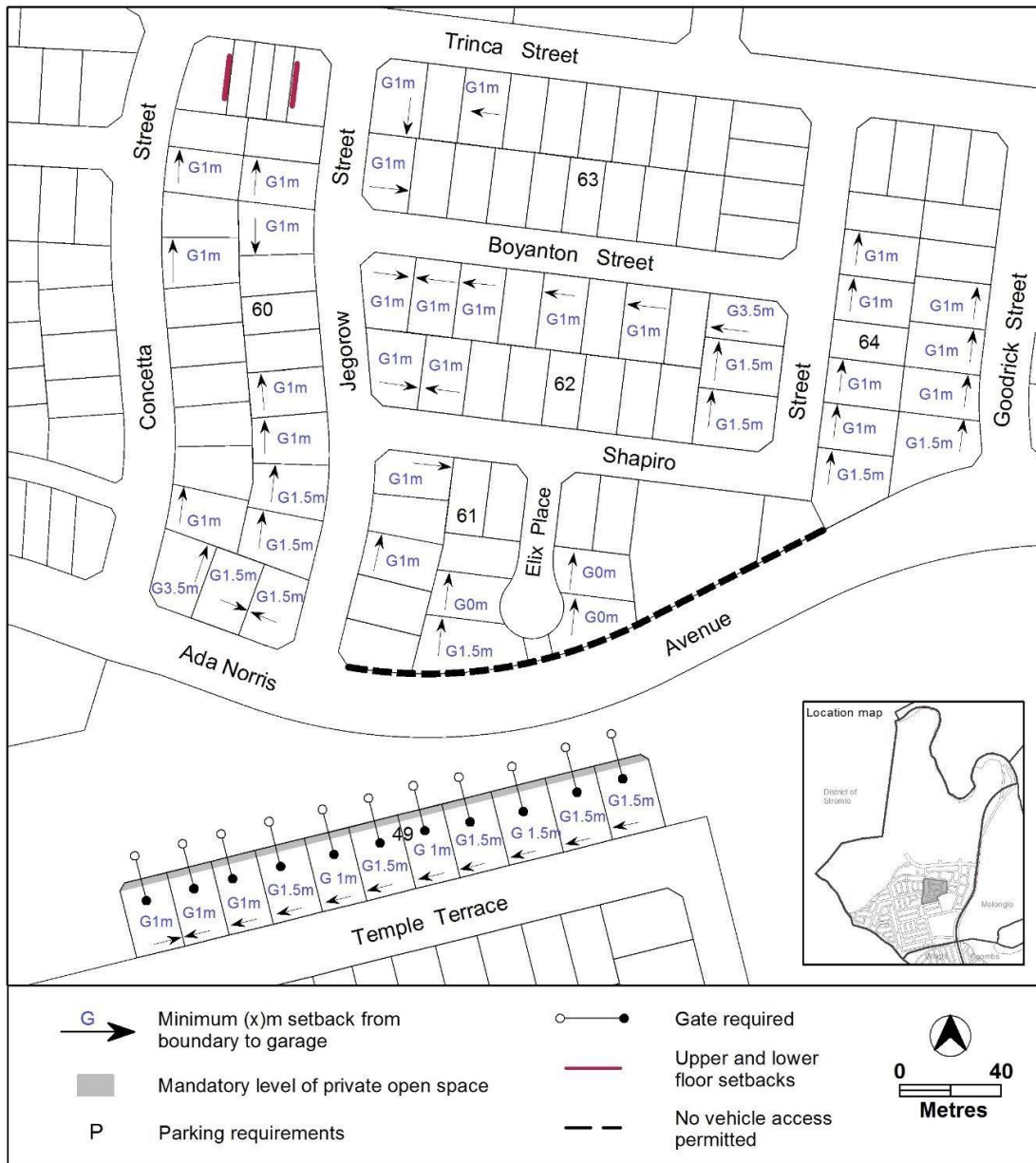
The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Denman Prospect:

Assessment Outcome	Refer to zone assessment outcomes
<b>Specification</b>	
<b>Side setbacks – Figures 5, 6, 10 and 11</b>	2.1. For blocks in Figures 5, 6, 10 and 11, the minimum side boundary setback to garage / carport is as nominated and the maximum length of the wall is 8m.
<b>Boundary Setbacks – Figures 11 and 12</b>	2.2. For blocks in Figures 11& 12, the minimum boundary setbacks to all floors and minimum and maximum height of development are as nominated.
<b>Private Open Space – Figure 6</b>	2.3. For blocks in Figure 6, the level of private open space is not lower than 1m below the front boundary level for a depth of 3m from the front boundary to the open space. Maximum length of wall at zero setback is limited to length of the adjoining dwelling party wall.
<b>Boundaries and Fences to Open Space- Figures 5, 6, 7, 8, 9 and 10</b>	2.4. For blocks in Figures 5, 6, 7, 8, 9, 10, boundaries to open space provide one gate access. Blocks fronting open space provide transparent type fencing with maximum height of 1.2m.
<b>Vehicle Access Limitation – Figures 6, 7, 8, 9, 11 and 12</b>	2.5. No vehicle access is provided from frontages as indicated on Figures 6, 7, 8, 9, 11, 12.
<b>Additional Controls – Figure 7</b>	2.6. For blocks in Figure 7: <ul style="list-style-type: none"> <li>a) Identified areas are maintained as a landscape zone.</li> <li>b) Commercial uses adjacent to the landscape zone are activated.</li> <li>c) No vehicle access where indicated.</li> <li>d) Pedestrian access is facilitated at the corner of Marie Little Crescent and Greenwood Street, providing an accessible connection to Section 76; and from Section 72 across Marie Little Crescent providing an accessible connection to Section 73.</li> </ul>
<b>Additional Controls – Figures 11 and 12</b>	2.7. For blocks in Figure 11, fences are not on nominated front boundaries. Where a multi-unit site fronts open space, landscape treatment provides an effective vehicle barrier. Pedestrian access is provided on all nominated boundaries. Where a multi-unit site exceeds 10 dwellings, multiple entries are provided. Nominated blocks provide habitable rooms that overlook both front boundaries. Courtyard walls are permitted forward of the primary building zone and are to comply with the following: <ul style="list-style-type: none"> <li>a) Constructed only of brick, block or stonework, any which may be combined with feature panels, with a maximum height of 1.8m, and set back 0.5m from the front boundary to facilitate a planting zone forward from the wall.</li> <li>b) Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows: <ul style="list-style-type: none"> <li>i) A pedestrian entry with a gate must be setback a minimum 1.5m from the front boundary.</li> <li>ii) An additional increased setback from the wall, of minimum 1m for an articulated planting zone.</li> </ul> </li> </ul> <p>Diagram 1 shows examples of courtyard walls.</p>
<b>Additional Controls – Figure 6, 7, 8, 9, 11 and 12</b>	2.8. All visitor parking requirement are to be provided within the block.

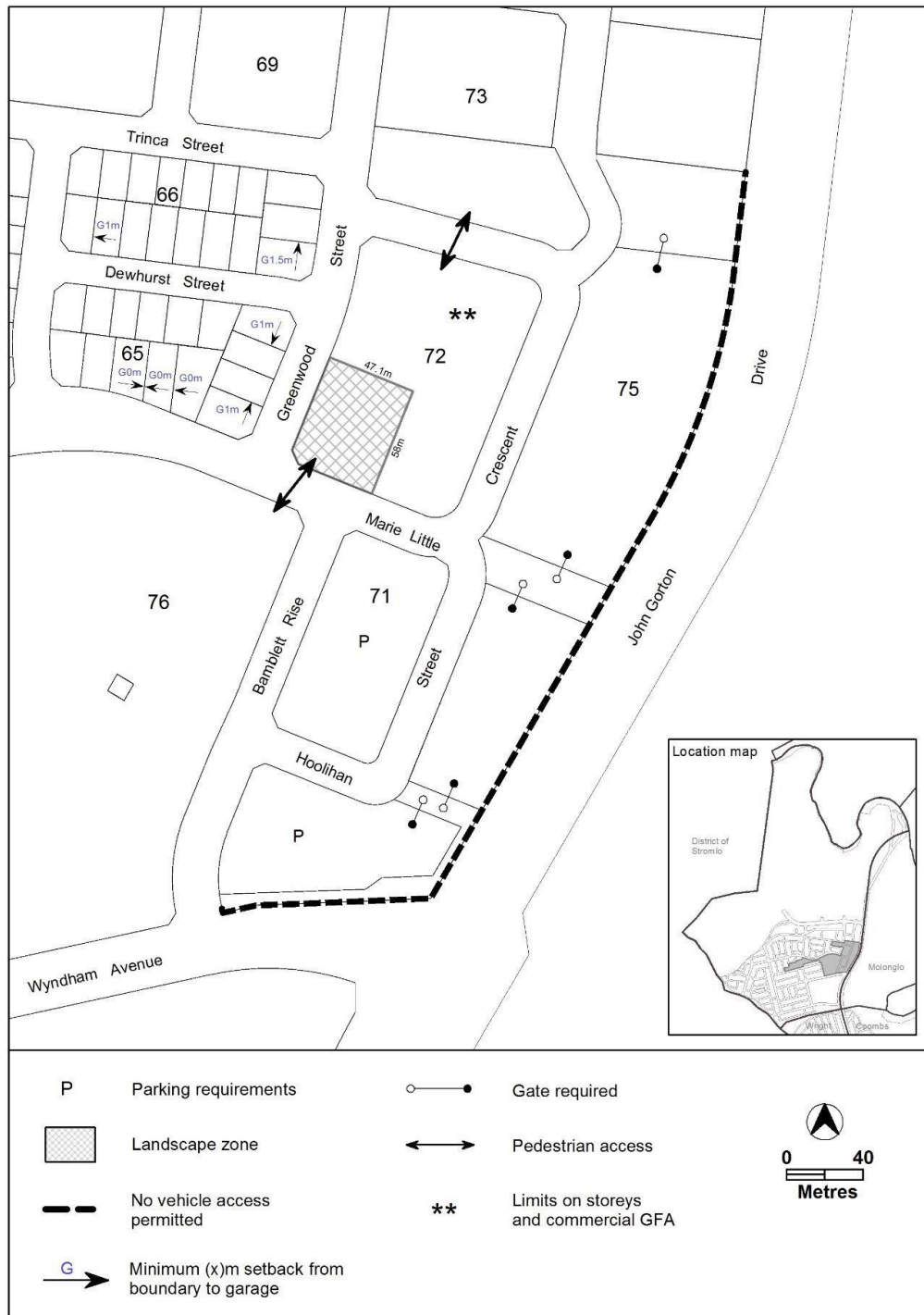
**Figure 5 Denman Prospect – Ongoing Provisions**



**Figure 6 Denman Prospect – Ongoing Provisions**



**Figure 7 Denman Prospect – Ongoing Provisions**





### Figure 8 Denman Prospect – Ongoing Provisions

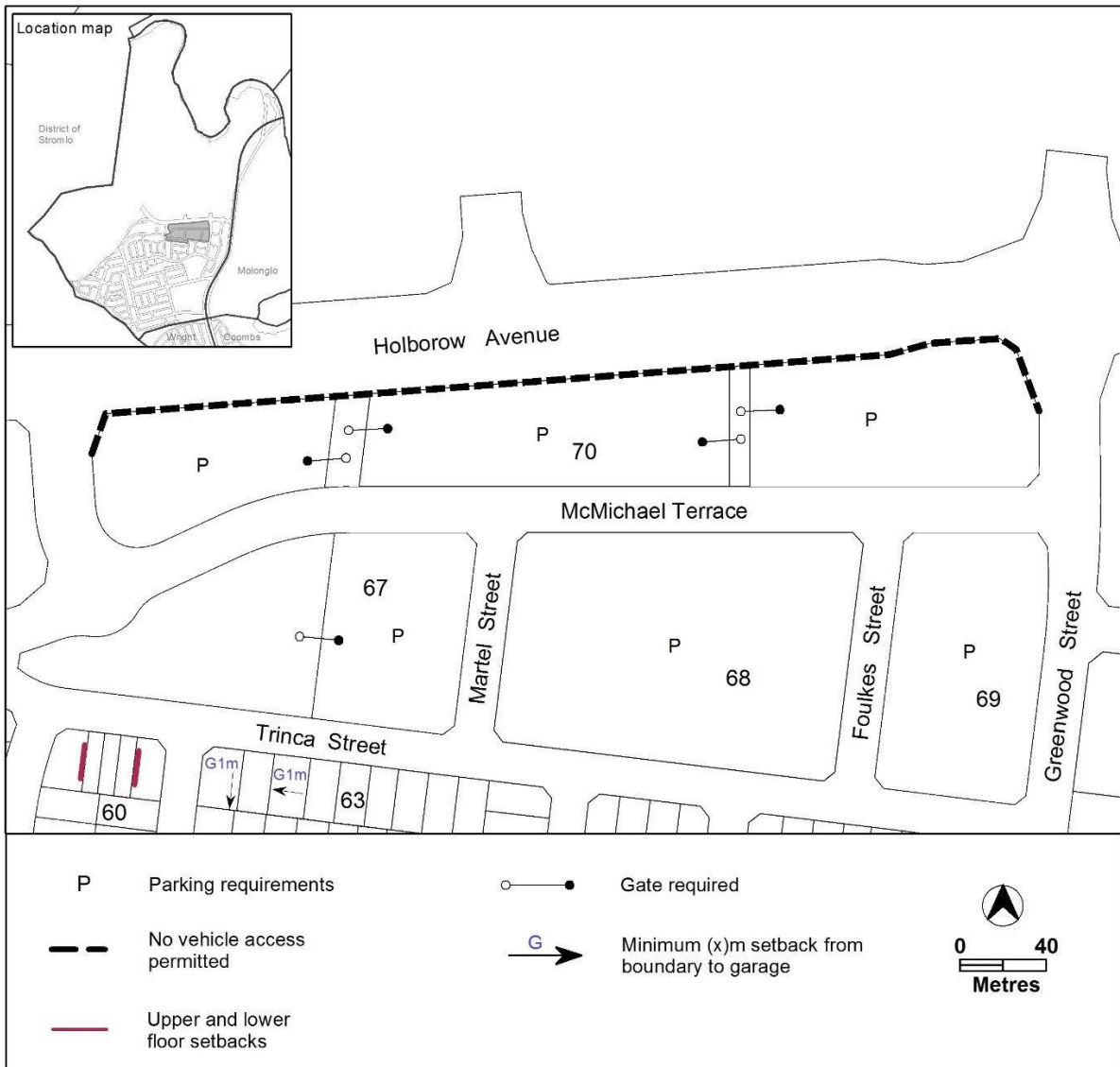
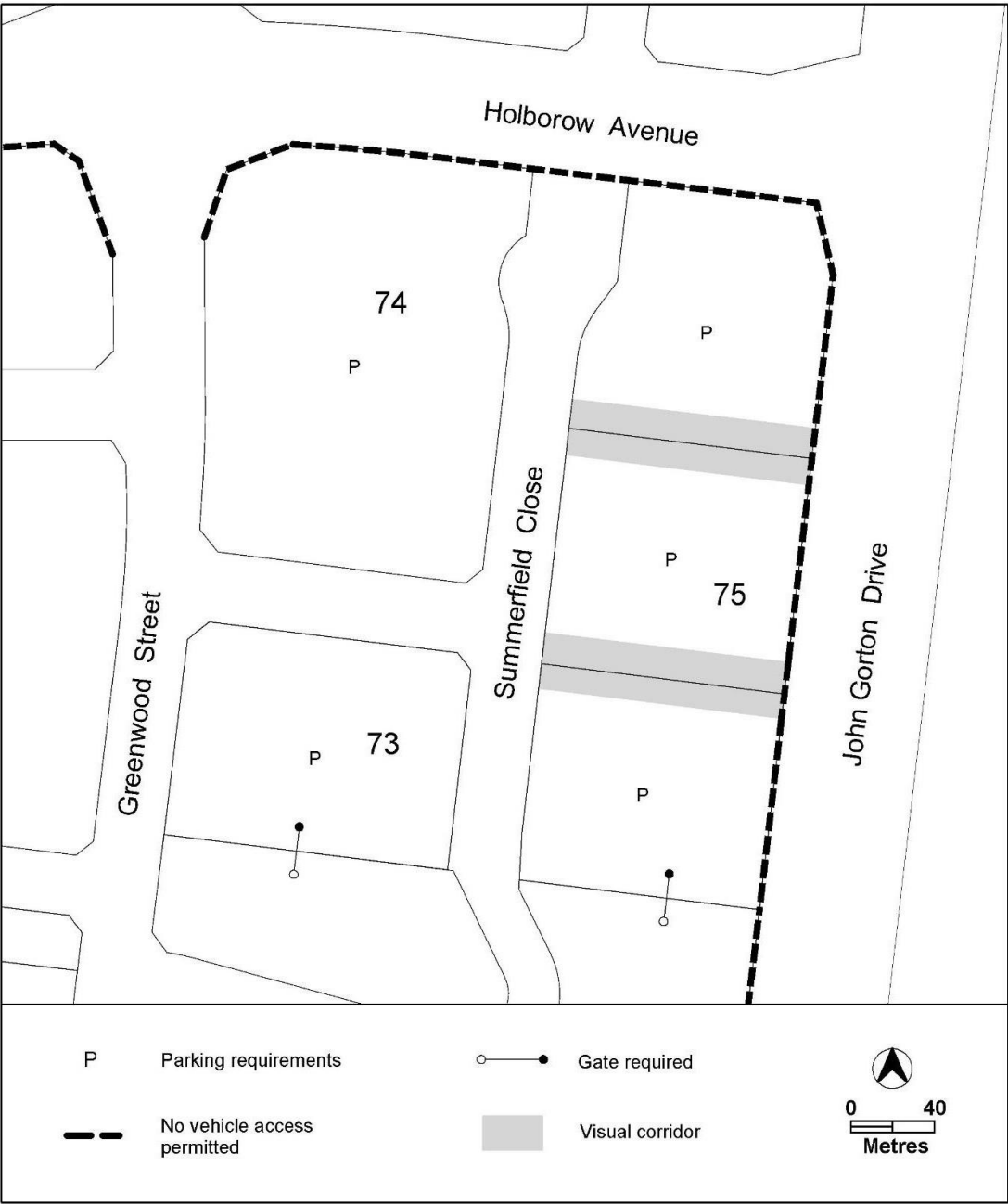
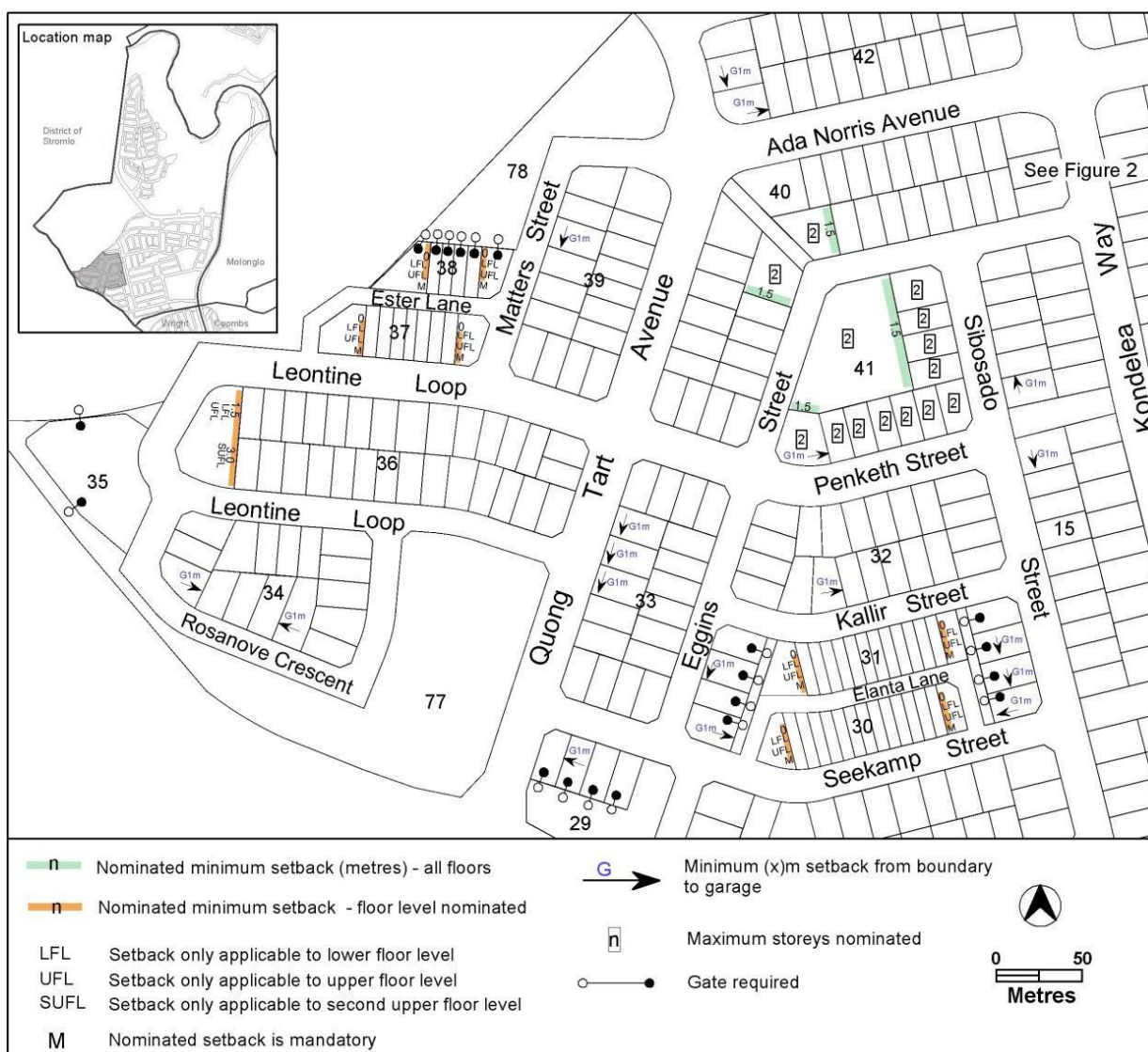


Figure 9 Denman Prospect – Ongoing Provisions



### Figure 10 Denman Prospect – Ongoing Provisions





**Figure 11 Denman Prospect – Ongoing Provisions**

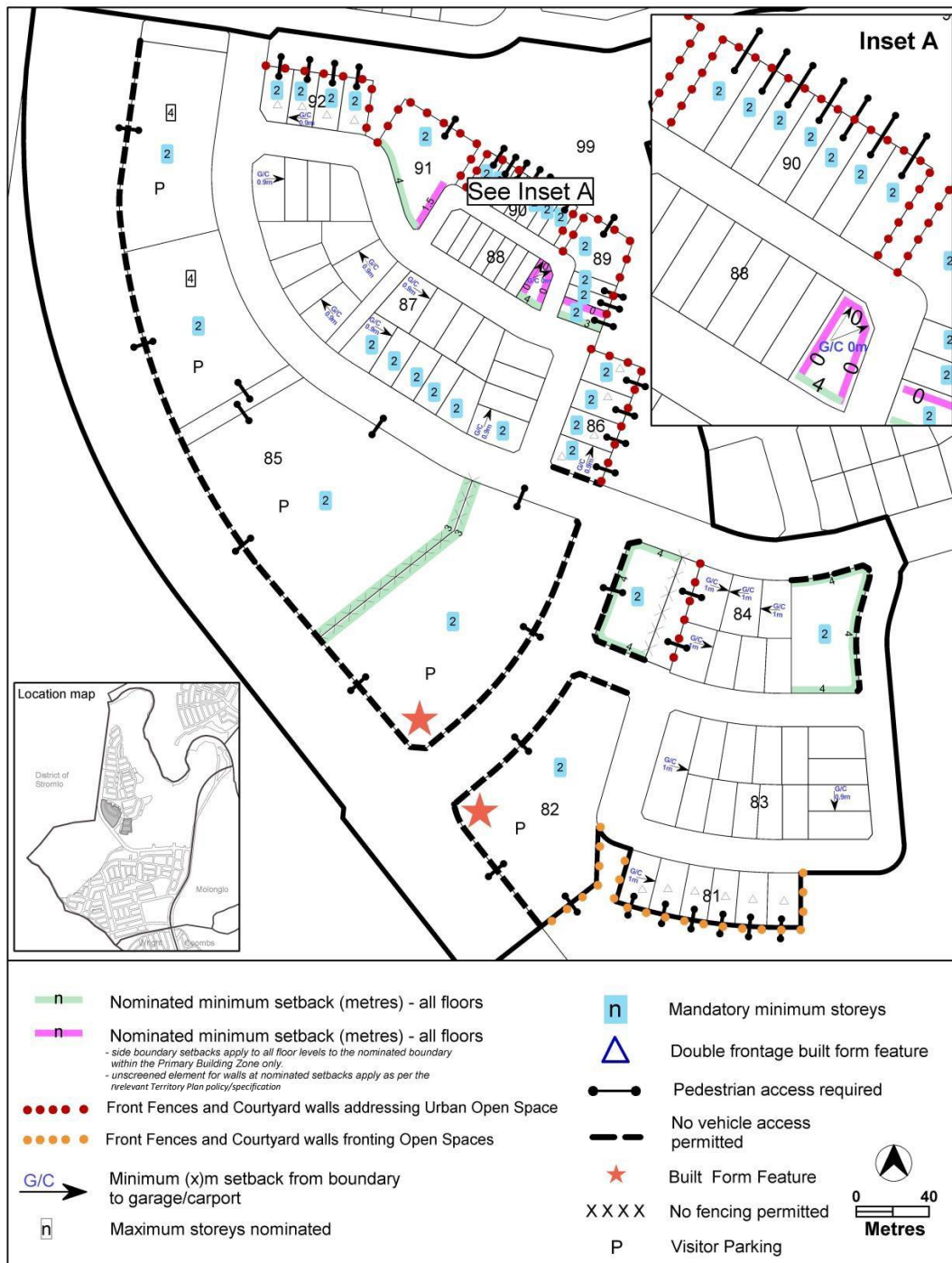
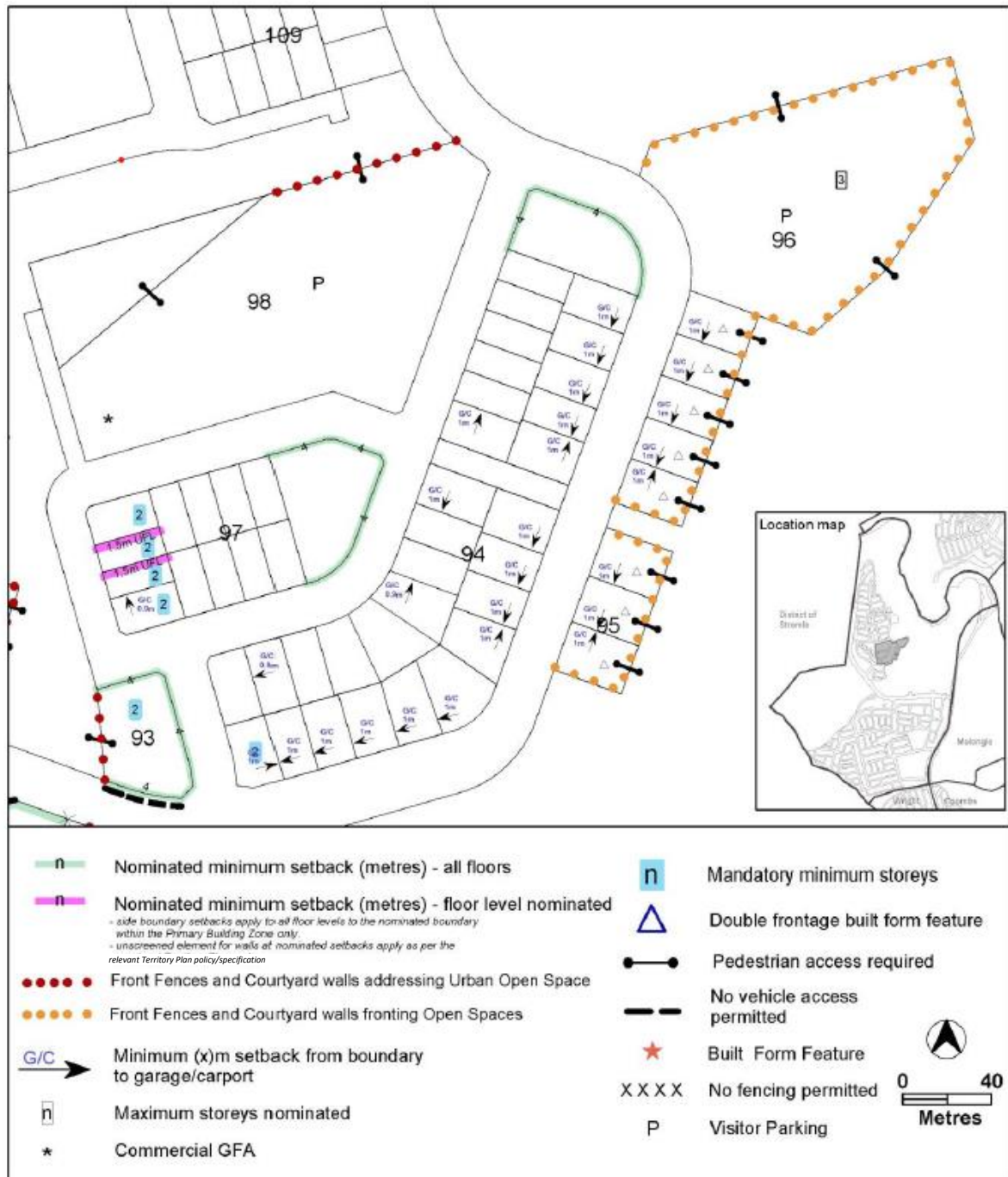
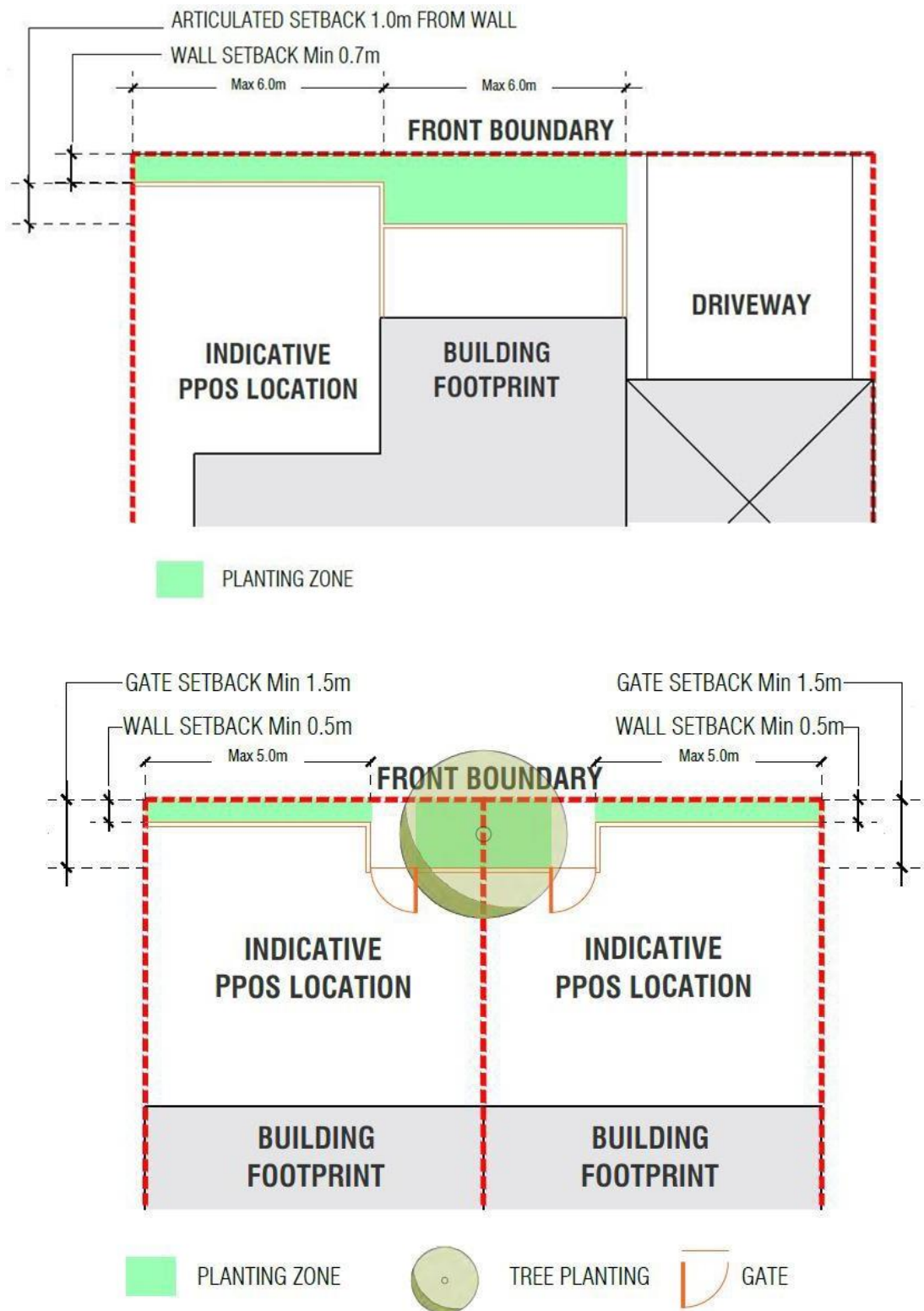


Figure 12 Denman Prospect – Ongoing Provisions



**Diagram 1 Denman Prospect – Examples of Courtyard Wall location (articulated planting zone and dwellings fronting urban open space**



### 3. Molonglo

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Molonglo:

<b>Assessment Outcome 1</b>	The landscape setting and values of Molonglo will be recognised and incorporated into the urban design of the future urban area. Boundary hills and significant internal ridges within the urban fabric will be excluded from inappropriate development
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 2</b>	Flexible building heights encourage a built form that responds to existing topography and the natural environment
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 3</b>	Buildings are designed to provide a gradual transition in height and scale, from a lower and 'finer grain' of development in the suburban areas adjoining the group centre and its surrounds, to a taller built form and larger block sizes in the group centre
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 4</b>	In the group centre, solar access is enabled to public spaces, particularly in the winter months, to provide pleasant spaces for community and to promote healthy growth of plants and trees
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 5</b>	In the group centre, the public realm is protected by limiting overshadowing and wind impacts on streets and public places
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 6</b>	In the group centre, development incorporates interactive, human scale, ground level building frontages to the streets and public realm where appropriate
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 7</b>	In the group centre, a range of retail and commercial uses are provided that interconnect with community facilities
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	
<b>Assessment Outcome 8</b>	In the group centre, the integration of community and recreation facilities enhances the quality of the commercial core and its surrounds
No applicable specification for this assessment outcome. Application must respond to the assessment outcome	

<b>Assessment Outcome 9</b>	<b>Views from the group centre to significant landscape features, such as Black Mountain are retained, to assist people to easily navigate the group centre and promote a sense of place</b>
<b>No applicable specification for this assessment outcome. Application must respond to the assessment outcome</b>	

<b>Assessment Outcome 10</b>	<b>Upward light spill will be minimised in East Molonglo in recognition of its proximity to the Mount Stromlo Observatory</b>
<b>Specification</b>	
<b>Light Spill</b>	<p>3.1. Upward light spill from East Molonglo will be minimised by:</p> <ul style="list-style-type: none"> <li>a) planting dense evergreen trees between the Mount Stromlo Observatory and urban areas</li> <li>b) minimise reflective ground surfaces</li> <li>c) applying the relevant Australian Standards such as AS/NZS 1158 (Road Lighting), AS 4282 (Obtrusive Effects of Outdoor Lighting), and AS2560 (Sports Lighting)</li> <li>d) applying light-sensitive practices to sportsground including the use of cut-off lighting and limiting hours of operation</li> <li>e) minimising light spill from outdoor lighting systems, including advertising structures.</li> </ul>

## 4. Whitlam

The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Whitlam:

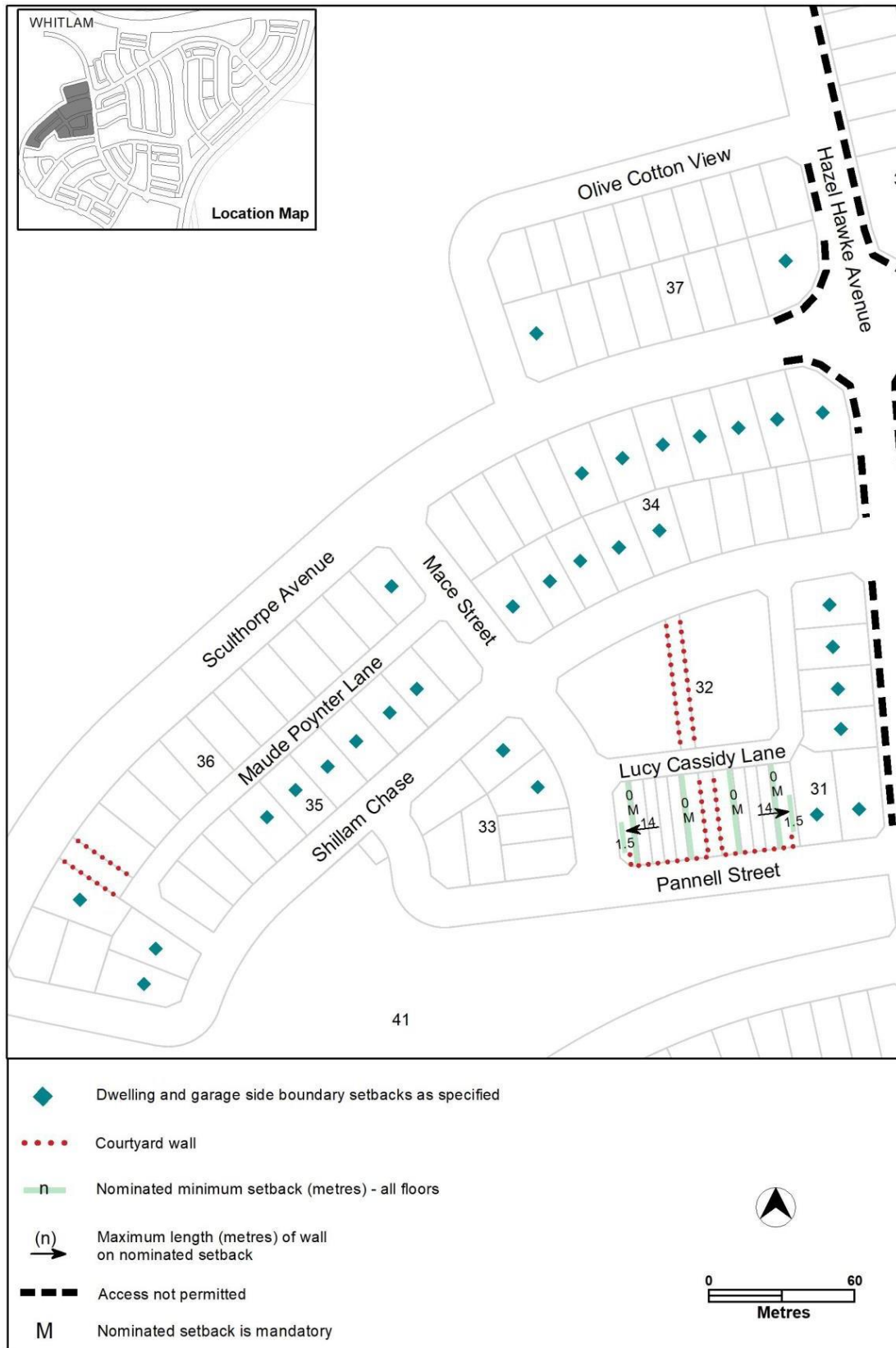
<b>Assessment Outcome 11</b>	<b>Development is designed to minimise the noise impact from William Hovell Drive and John Gorton Drive</b>
<b>Specification</b>	
<b>Noise – Figures 14, 15, 16, 17, 18 and 19</b>	<p>4.1. Development is designed to minimise the noise impact from William Hovell Drive and John Gorton Drive by having dwelling walls facing the front boundary and within the primary building zone are a minimum wall height of 6 metres above datum ground level for the entire width of the dwelling.</p> <p><u>Note:</u> The purpose of this specification is to provide acoustic protection measures for the estate.</p>

<b>Assessment Outcome</b>	<b>Refer to zone assessment outcomes</b>
<b>Specification</b>	

<b>Side boundary setbacks - Figures 15, 16, 17, 18, 19, 20, 21 and 22</b>	<p>4.2. The lower floor level complies with the following side boundary setbacks within the primary building zone and the rear zone:</p> <ul style="list-style-type: none"> <li>a) minimum setback of 3m from side boundary 1</li> <li>b) minimum setback of 1.5m from side boundary 2</li> <li>c) garages are setback a minimum of 1.5m from side boundary 2</li> <li>d) the lower floor level minimum rear boundary setback and all upper floor level setbacks of the Residential Zones Policy apply.</li> </ul> <p>Note: The northern boundary of Section 11 Blocks 13 and 17 are considered side setbacks for the purposes of this requirement.</p>
<b>Boundary setbacks – Figures 15, 16, 17, 18, 19, 20, 21 and 22</b>	<p>4.3. Minimum boundary setbacks to lower floor level and/or upper floor level are nominated.</p> <p>For blocks identified in Figures 18 and 20: The total change in ground level resulting from cut or fill does not exceed 1.5m within 1.5m of a side or rear boundary. The change in ground level is the cumulative total of all level changes within 1.5m of the boundary taken from the datum ground level to the new finished ground level.</p>
<b>Additional Controls – Figures 13, 14, 15, 16, 18, 19 and 20</b>	<p>4.4. For blocks identified in figures 13, 14, 15, 16, 18, 19 and 20:</p> <ul style="list-style-type: none"> <li>a) The minimum setbacks to lower and/or upper floor levels is as indicated.</li> <li>b) Vehicle access is not permitted as indicated.</li> <li>c) Courtyard wall to a maximum height of 1.5m constructed of brick or stonework in combination with feature panels that include openings not less than 25% of the surface area, and setback 600mm from the front boundary to incorporate landscaping. The wall is to extend along the boundary and terminate 5 metres from the corner boundary adjoining a road. Refer to Figure 22 for examples courtyard walls.</li> </ul>



Figure 13 Whitlam – Ongoing Provisions

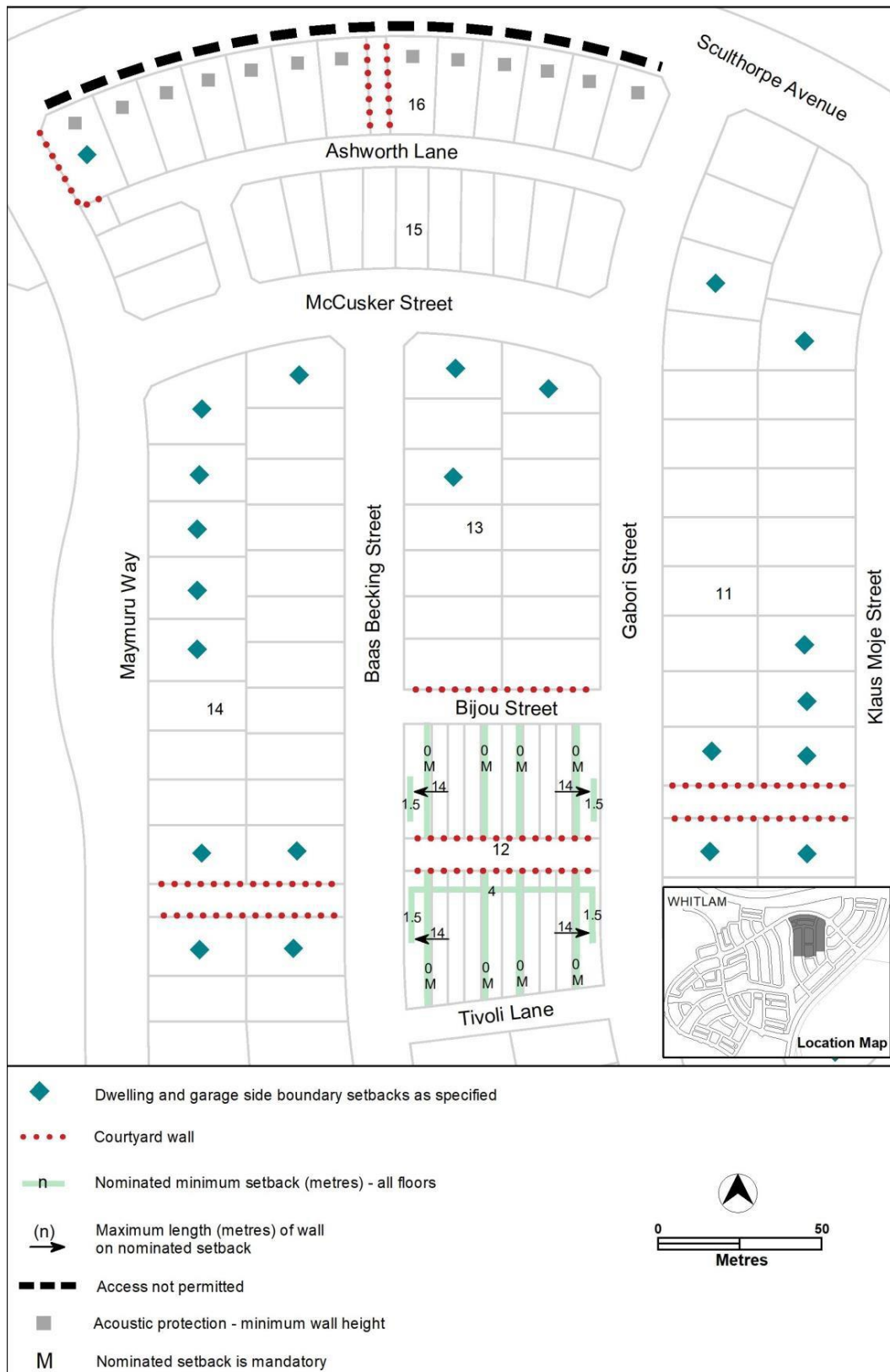


**Figure 14 Whitlam – Ongoing Provisions**





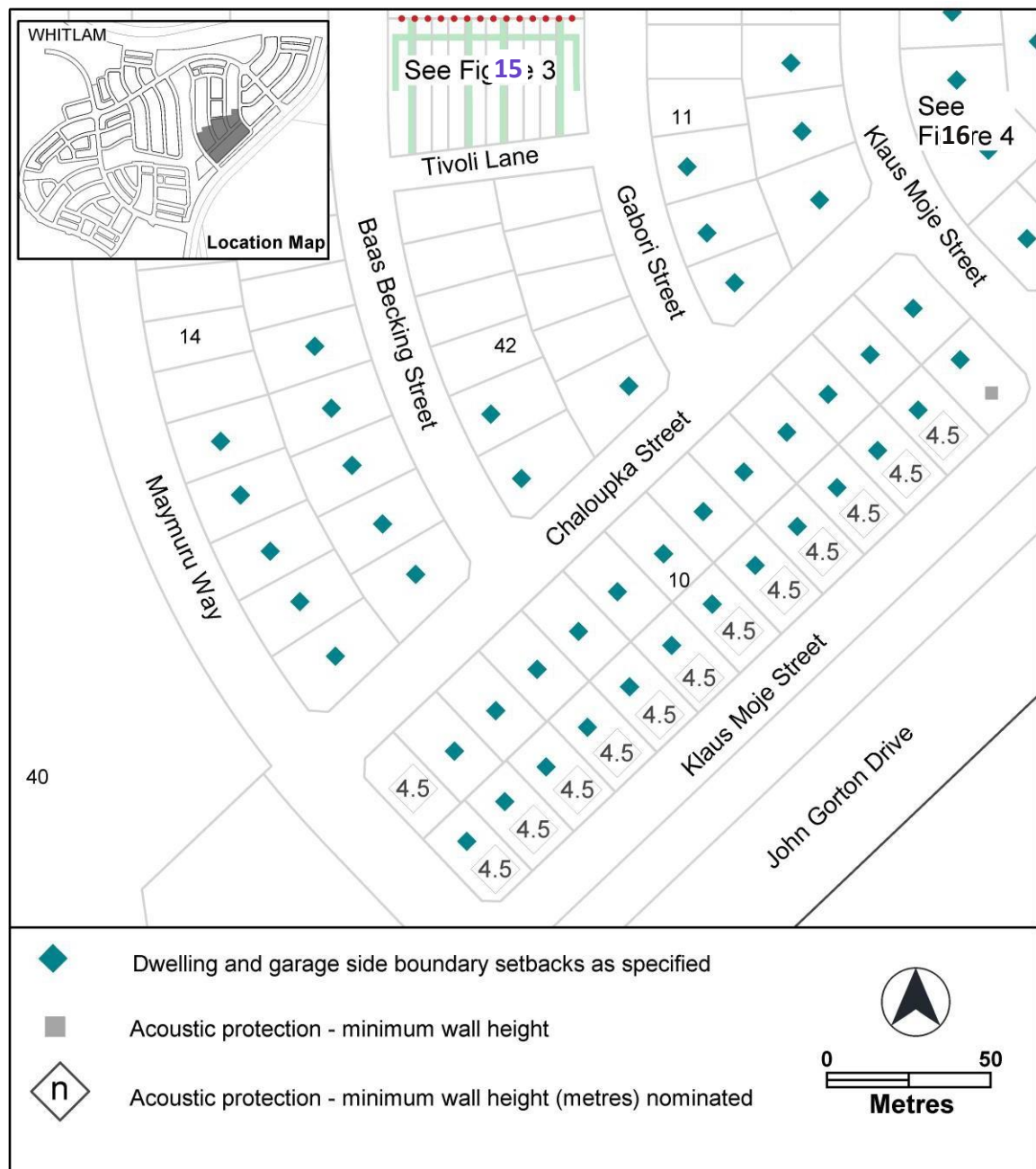
Figure 15 Whitlam – Ongoing Provisions



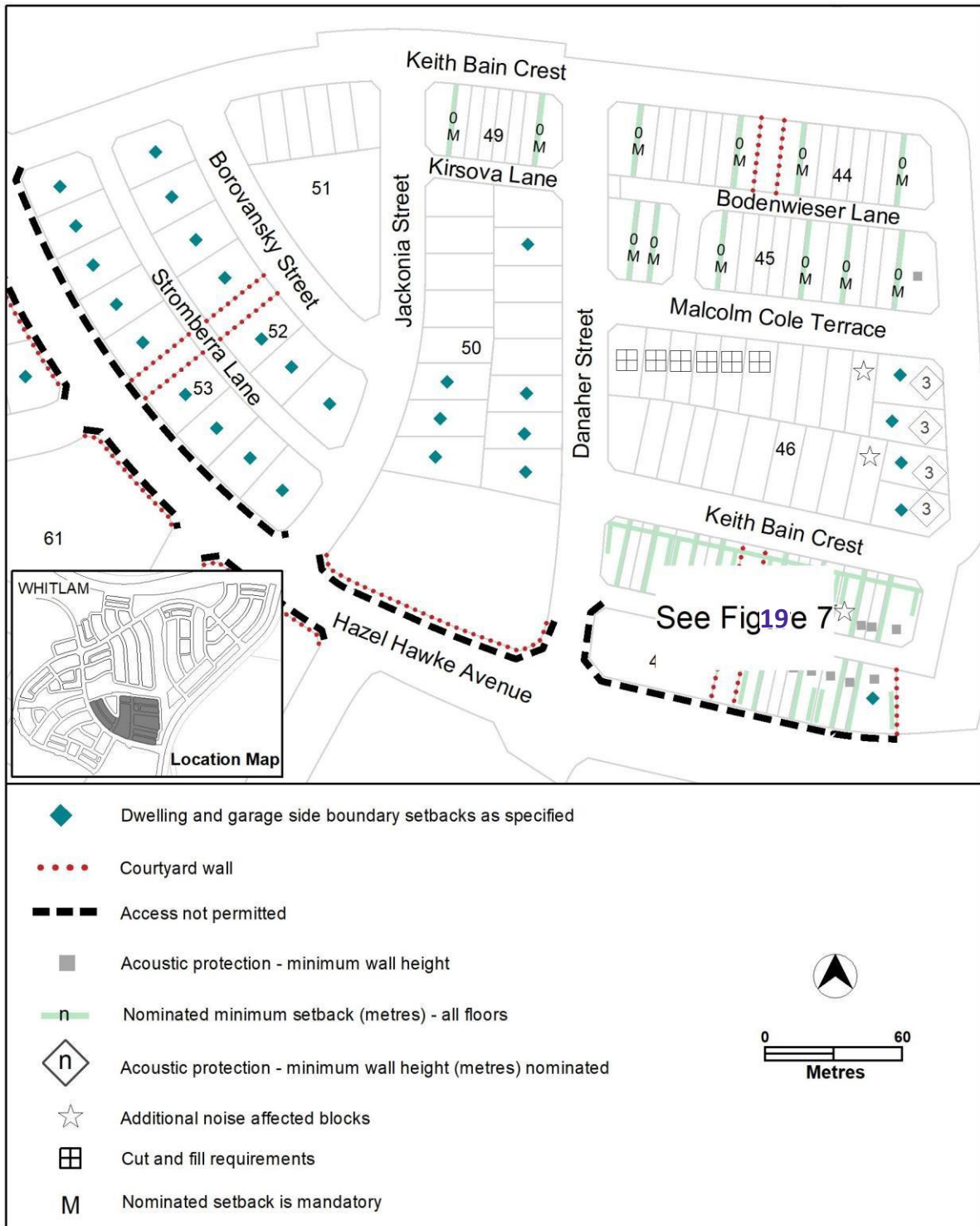
**Figure 16 Whitlam – Ongoing Provisions**



### Figure 17 Whitlam – ongoing provisions

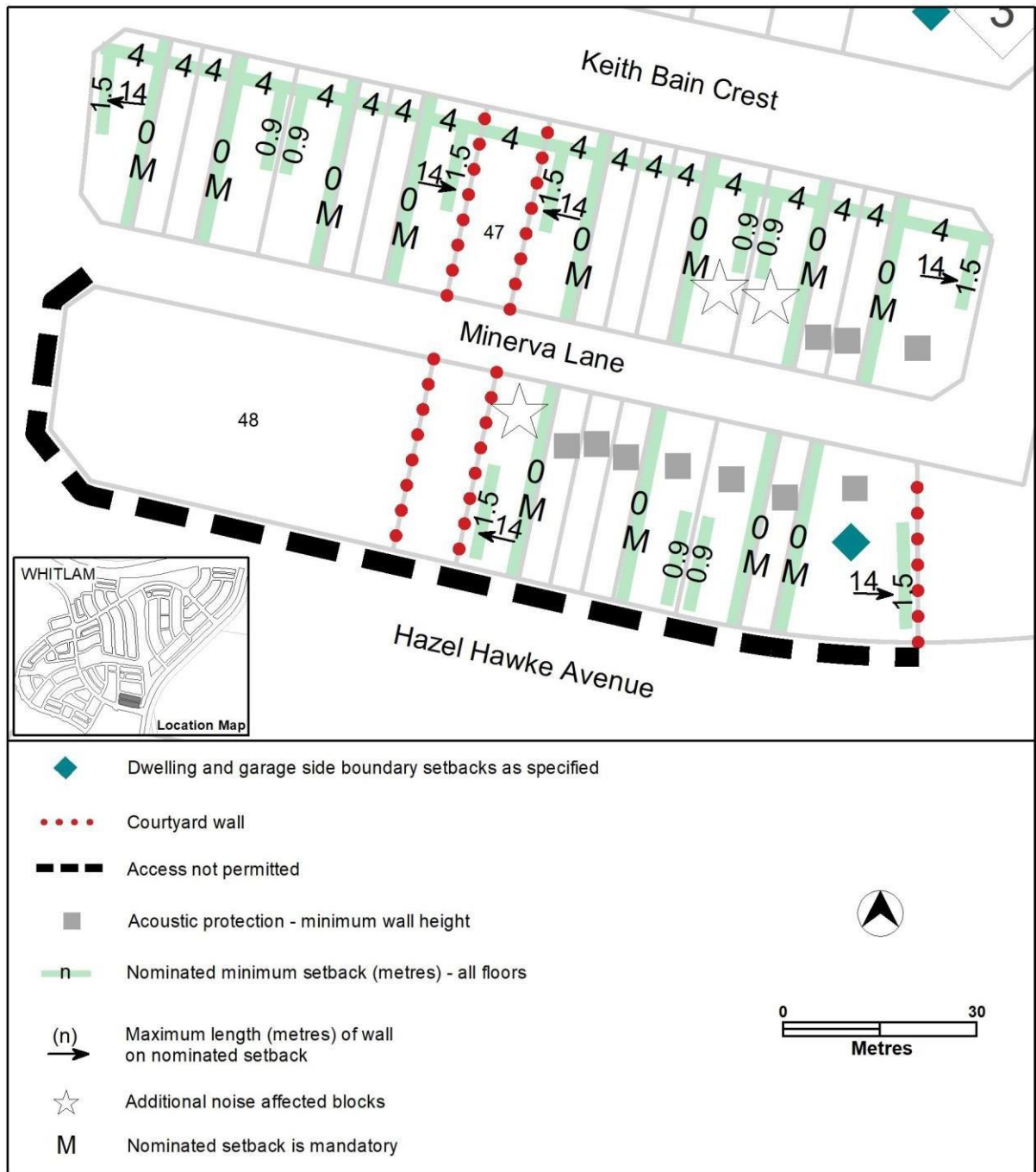


**Figure 18 Whitlam – ongoing provisions**





**Figure 19 Whitlam – ongoing provisions**



**Figure 20 Whitlam – ongoing provisions**

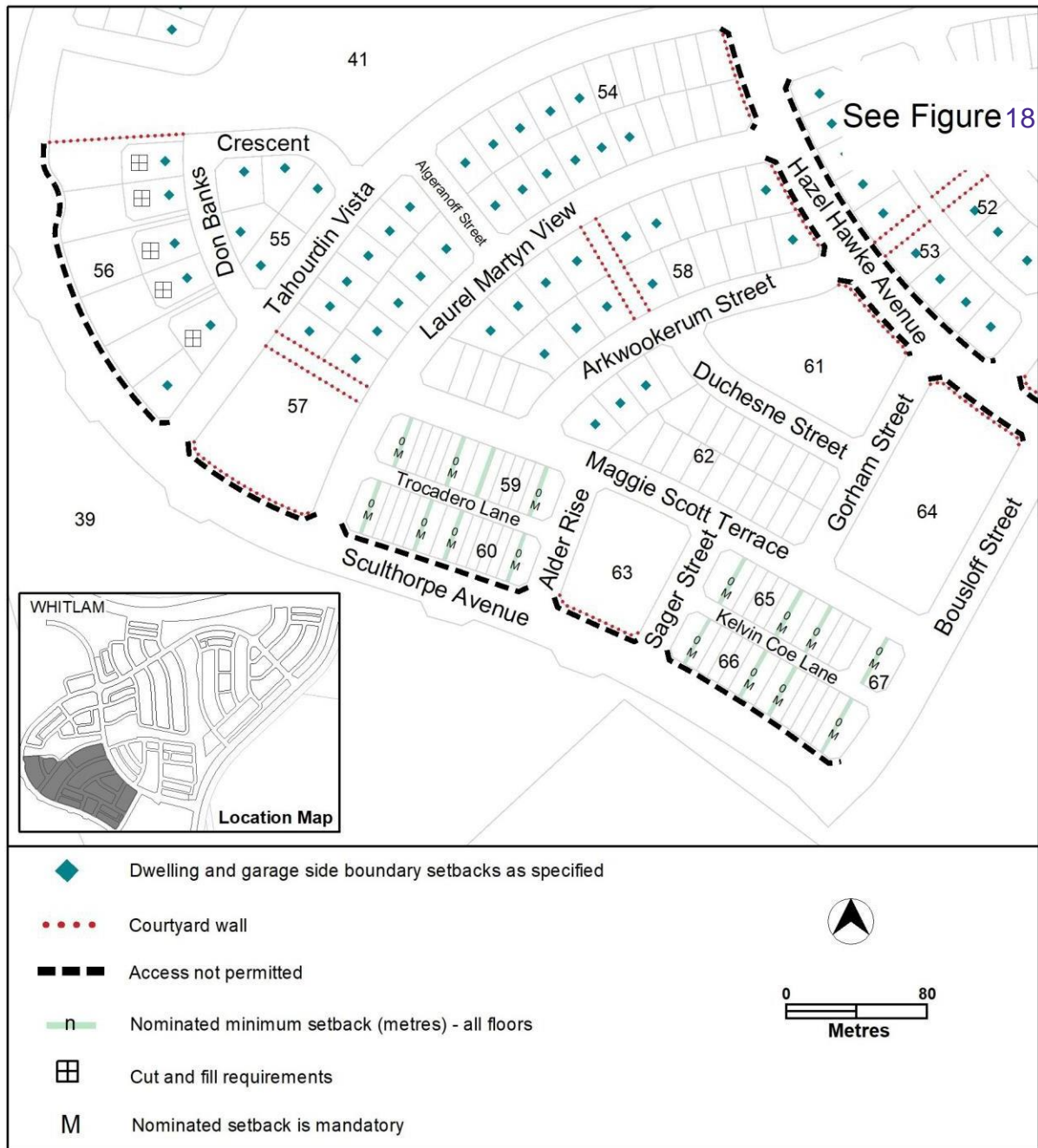
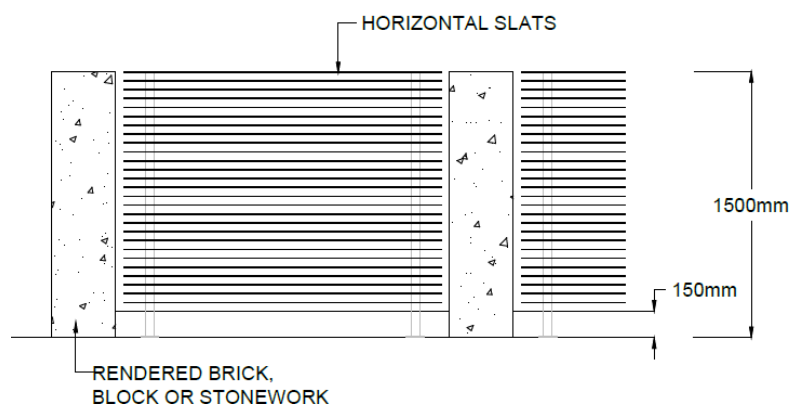


Figure 21 Whitlam – ongoing provisions

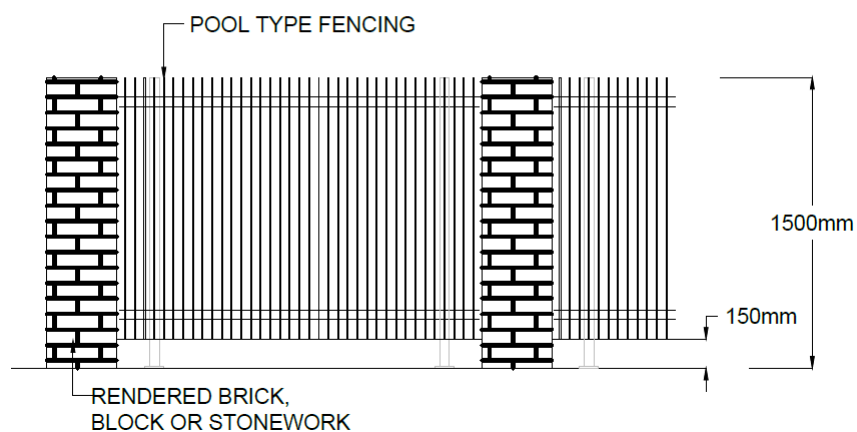


**Figure 22 Whitlam – ongoing provisions (Elevation of Courtyard Wall)**

TYPE 1



TYPE 2





# 5. Wright

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The following specifications provide possible solutions that should be considered in planning, placing, designing and using buildings and structures for proposed development in Wright:

**No applicable specification for this suburb.**